



AGENDA

Community Planning Advisory Committee

Wednesday, August 7, 2024 at 7:00 p.m.
City Hall Council Chambers, 410 Esplanade

Mandate: *The mandate of the committee is to provide feedback to applicants and advice to Council on land use applications, policies, regulations and initiatives referred either directly by Council or through the Development Approval Procedures Bylaw.*

1. CALL TO ORDER AND ACKNOWLEDGEMENT (7:00pm)
The Town of Ladysmith acknowledges with gratitude that this meeting takes place on the unceded territory of the Stz'uminus First Nation.
- 1.1 INFORMATION ON HOW TO ATTEND THE MEETING
Residents are welcome to attend in person at City Hall Chambers at 410 Esplanade.
2. AGENDA APPROVAL (7:05pm)
3. ADOPTION OF JULY 3, 2024 MINUTES* (7:05pm)
4. COUNCIL REFERRALS (7:05pm)
 - a. Development Permit Application 3060-23-21 – 440 1st Avenue *
(30 minutes)
5. MONTHLY BRIEFING (7:35pm)
File Updates (10 minutes)
6. NEXT MEETING – TBD
7. ADJOURNMENT (7:45 pm)

*Attachments



MINUTES

Community Planning Advisory Committee

Wednesday, July 3, 2024 at 7:00 p.m.
City Hall Council Chambers, 410 Espanade

PRESENT: Members - Jennifer Aker; John Scott; Julika Pape; Tonya Soules; Keona Wiley; Anthony Price; Council Liaison – Marsh Stevens (via Conference Call); Director of Development Services & Recorder – Jake Belobaba

ABSENT: Member - Jason Robertson

GUESTS: Applicant - Scott Mack (file no. 3360-23-10)

Director of Development Services Jake Belobaba called the meeting to order at 7:02pm.

Jake Belobaba acknowledged with gratitude that Ladysmith is located on the unceded territories of the Stz'uminus First Nation.

1. AGENDA APPROVAL

It was moved, seconded, and carried that the Agenda of July 3, 2024, Community Planning Advisory Committee meeting be approved.

2. ADOPTION OF MINUTES

It was moved, seconded, and carried that the Minutes of May 1, 2024, Community Planning Advisory Committee meeting be approved.

3. COUNCIL REFERRALS

a. Zoning Bylaw Amendment Application 3360-23-10 – Lot A District Lot 126 Malone Road

Applicant Scott Mack from Townsite Planning gave a brief presentation on proposal.

It was moved, seconded, and carried that the Community Planning Advisory Committee recommends that Council approve Zoning Bylaw Amendment application 3360-23-10 for Lot A District Lot 126 Malone Road with consideration for the following:

- A cap on the number of single-unit and two-unit dwellings in Area C.
- Either frontloading the proposed affordable housing to earlier phases of the development or rental tenure zoning in Area C.
- Higher parcel coverage in Area C.
- Permitting fourplexes in Areas A and B.

- Fencing along the park boundary for Brown Drive Park installed prior to development.
- A minimum FSR in Area C aligned with OCP policy.
- Broadening the potential uses of the proposed \$50,000 cash contribution to allow it to be spent on other park improvements.

4. **NEW BUSINESS**

a. **Election of Chair**

Keona Wiley was elected as Chair.

5. **MONTHLY BRIEFING**

- 3360-22-07 - District Proposal (Lot A Holland Creek).
- Jake Belobaba provided a brief update on the Provincial Small Scale Multi-Unit Housing legislation.

6. **NEXT MEETING - TBD**

7. **ADJOURNMENT**

It was moved, seconded, and carried that the meeting be adjourned at 8:42 PM.

Chair (Keona Wiley)

RECEIVED:

Corporate Officer (S. Bouma)

CPAC REFERRAL

Report Prepared By: Julia Tippett, Planner
Meeting Date: August 7, 2024
File No: DP 3060-23-21
Re: Development Permit – 440 1st Avenue (Island Hotel)

Executive Summary

A development permit application has been received for 440 1st Avenue for the restoration, rehabilitation and preservation of the existing heritage brick façade and the redevelopment of a mixed-use building with commercial space on the ground level and 22 residential units on the above storeys. The proposal includes a 2-storey addition to the existing 3-storey historic Island Hotel façade for a total of 5 storeys. As the property is within Development Permit Area 2 – Downtown (DPA 2) and the building is on the Community Heritage Register, the Community Planning Advisory Committee (CPAC) is asked to provide feedback regarding the application in accordance with the CPAC Terms of Reference.

Introduction/Background

440 1st Avenue is a three-storey historic building on the southwest side of 1st Avenue. The building was originally constructed in 1900 with a grade-level entrance but was modified in 1913, which had the building raised and a third storey added to the original two-storey structure. There is commercial space on the lower storey with 13 residential units on the upper floors. The building is listed on the Town’s Community Heritage Register.

The property was rezoned in 2023 to allow site-specific regulations within the C-2 (Downtown Commercial) zone for greater floor space ratio than was permitted at the time and established a maximum of 22 dwelling units. Other amendments included regulations for minimum front parcel line setbacks of 2.7 metres for the 4th storey and 5.4 metres for the 5th storey, the requirement for 4 off-street parking spaces, and a reduction of the rear parcel line setback to 0.0 metres.



The current proposal is for the restoration and preservation of the heritage façade and the redevelopment of the building.

The proposed redevelopment for DP 23-21 includes the following elements:

- The restoration, rehabilitation and preservation of the building's heritage brick façade, cornice and parapets;
- Lowering the building and heritage façade to ground-level;
- Reconstruction of the building, including a two-storey addition (five storeys total)
 - Fourth storey setback of 2.4 metres from the front parcel line and the fifth storey setback of 4.6 metres from the front parcel line (requires a variance);
- Approximately 138m² of commercial space on the first storey;
- 22 dwelling units (one-bedroom and bachelor suite apartments);
- Cantilevered balconies in the mid-section of the rear face of the building and Juliet-style balconies at the rear outer apartments;
- Deck space for front units on fourth and fifth storeys within upper storey stepbacks;
- Rooftop outdoor amenity/patio space accessible by a stairwell and an elevator to the rooftop;
- 3 rooftop planters;
- 22 on-site long-term bicycle parking spaces (indoors) and 7 off-site short-term bicycle parking spaces (on public property);
- Four off-street parking spaces accessed at the rear lane;
- One shade tree at the rear of the property;
- Indoor garbage and recycling storage facilities;
- Beige and off-white stucco cladding and green parapet and cornices; and
- On-site stormwater system – Silva and Marino cell.

The architectural drawings and supporting information from the applicant are attached.

Community Heritage Register

According to the Community Heritage Register, the Island Hotel's character-defining elements include:

- The building's continuous commercial use;
- All elements of a modest Edwardian commercial building, including the simple form and massing, symmetrical façade, brick facing, flat roof, simple one-over-one wood-framed windows, cornice and arrangements of doors and windows at the street level; and
- The building's location within a group of similarly proportioned, historic commercial buildings on the Town's main commercial street.



Development Permit Area 2 – Downtown

440 1st Avenue is within Development Permit Area 2 – Downtown (DPA 2), therefore a Development Permit (DP) must be issued for the proposed development.

The objective of DPA 2 is to strengthen the historic downtown as the Town’s primary commercial area. DPA 2 intends to provide guidance for the form and character of development in the downtown. New development should make a positive contribution to revitalization of the area and to the greater whole of the Ladysmith experience. The guidelines encourage restoring historic, character-defining building elements.

The following table outlines DPA 2 guidelines are relevant to this proposal:

Development Permit Area 2 – Downtown (DPA 2) Guidelines	
Guideline Category	Relevant Guideline Number(s)
Building Design	1(a), 1(c), and 1(d)
Building Siting & Massing	2(a) to 2(e), 2(g), 2(j), and 2(k)
Building Frontage	3(a), 3(b), and 3(e)
Roof Form	4(a), 4(b) and 4(d)
Windows & Doors	5(a) to 5(f) and 5(h) to 5(o)
Signs, Canopies & Lighting	6(a) to 6(g)
Materials & Colours	8(a) to 8(d)
Mechanical, Electrical & Security Equipment	9(a) and 9(b)
Accessibility & Connectivity	10(a) and 10(d)
Vehicle & Bicycle Parking	11(a) to 11(c) and 11(e) to 11(g)
Loading Facilities	12(b)
Landscape	13(a) to 13(i) and 13(k) to 13(o)
Energy Conservation & Greenhouse Gas Emissions Reductions	14(a) to 14(c)
Rainwater Management	15(a) and 15(b)
Water Conservation	16(a) and 16(b)
Recycling, Organics & Solid Waste Management	17(a)
Safety	18(a) to 18(d)
Public Realm	19(a) and 19(b)
Preservation, Rehabilitation & Restoration of Heritage Buildings	20(a) to 20(e)

CPAC Referral

In accordance with CPAC’s Terms of Reference, the committee is asked to provide feedback on any development or redevelopment of lands, buildings and structures that are on the Community Heritage Register. Since 440 1st Avenue is on the Community Heritage Register, the application has been referred to CPAC for comment.

Further, CPAC is asked to review the proposed redevelopment of the Island Hotel in the context of the DPA 2 guidelines and the description of the building on the Community Heritage Register.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

The application has been forwarded to the Engineering, Building and Fire Departments as part of the application process.

ATTACHMENT:

- A. Architectural drawings
- B. Community heritage register
- C. Landscaping plan
- D. Additional applicant submission - letter of rationale

PROJECT STATS
ISLAND HOTEL REDEVELOPMENT
 Project No. 23047

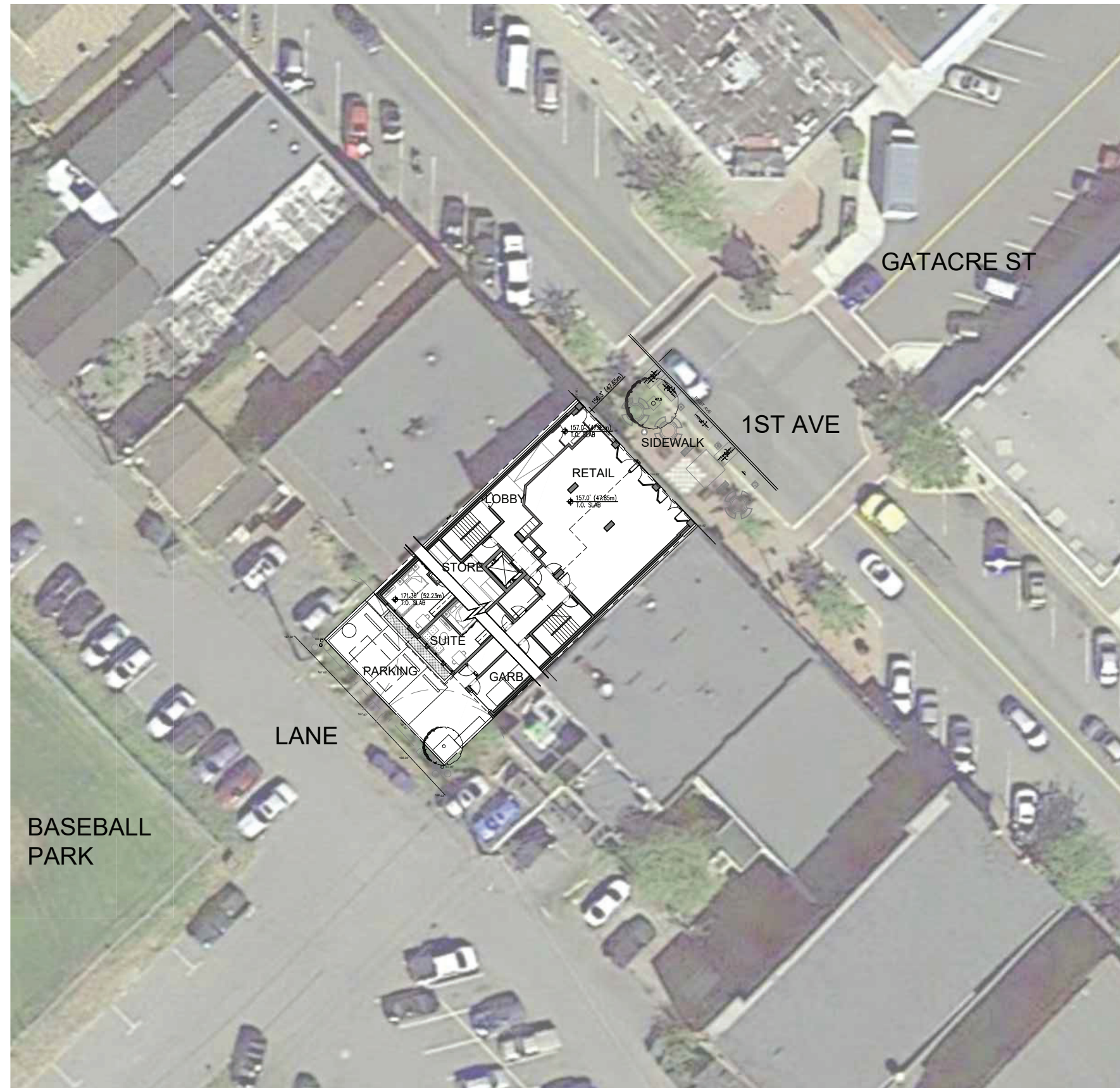
REVISION NO.			
SITE INFORMATION			
LEGAL DESCRIPTION	LOT 6, BLOCK 27, DISTRICT LOT 56, OYSTER DISTRICT, PLAN 703		
CIVIC ADDRESS	440 FIRST AVE, LADYSMITH, B.C., V6A 0J7		
ZONING	DPA 2 and DPA 4		
SITE DATA			
SITE AREA (M ²)	5,004.02 SF	464.9 sqm	PROPOSED
FLOOR SPACE RATIO (FSR)	AREA TOTAL / SITE AREA		2.83
SITE COVERAGE			100%
BUILDING HEIGHT*	TO TOP OF PARAPET:		17.05
SETBACKS	FRONT		0m
	REAR		6m
	SOUTHEAST SIDE		0m
	NORTHWEST SIDE		0m
	FRONT LEVEL 4 (TO CLADDING)		2.35m
	FRONT LEVEL 5 (TO CLADDING)		4.57m
BUILDING DATA			
UNIT MIX			# OF UNITS
STUDIO			7
1 BE ¹			15
2 BE ²			0
TOTAL UNITS			22
AREA SUMMARY PER MUNICIPAL FSR			
	COMMERCIAL	RESIDENTIAL	
LEVEL 1	1,481.53 SF	137.6 sqm	-
LEVEL 2		2,776.26 SF	257.9 sqm
LEVEL 3		3,306.81 SF	307.2 sqm
LEVEL 4		2,953.59 SF	274.4 sqm
LEVEL 5		2,585.22 SF	240.2 sqm
LEVEL 6 (AMENITY STORAGE)		36.83 SF	3.4 sqm
SUB-TOTAL	1,481.53 SF	137.6 sqm	1,033.1 sqm
TOTAL AREA PER MUNICIPAL FSR		13,140.24 SF	1,220.8 sqm
BUILDABLE AREA SUMMARY (NO EXCLUSIONS)			
	COMMERCIAL	RESIDENTIAL	
LEVEL 1	1,481.53 SF	2,287.97 SF	212.6 sqm
LEVEL 2		3,624.94 SF	335.3 sqm
LEVEL 3		3,920.41 SF	362.4 sqm
LEVEL 4		3,547.19 SF	329.5 sqm
LEVEL 5		3,178.82 SF	295.3 sqm
LEVEL 6		769.13 SF	71.5 sqm
SUB-TOTAL	1,481.53 SF	17,508.36 SF	1,626.6 sqm
TOTAL BUILDABLE AREA (NO EXCLUSIONS)		18,989.89 SF	1,764.2 sqm
PARKING DATA			
PROPOSED PARKING	DESCRIPTION	QUANTITY	
	STANDARD STALL	1	
	SMALL STALL	3	
TOTAL PROPOSED PARKING		4	
REQUIRED BICYCLE PARKING	CLASS A	22	CLASS B
PROPOSED BICYCLE PARKING	CLASS A	22	CLASS B

*Building height calculated from average finished grade to top of roof parapet excluding overruns as noted or A203.



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Architecture.
 Made Personal.



1 SITE PLAN
 1/16"=1'-0"

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NORTH ARROW:



OWNER/CLIENT:

**FIRST AVENUE
 FREEHOLDERS INC.**

GENERAL NOTES:

NO.	ISSUE	Y/M/D
3	RE-ISSUED FOR DEVELOPMENT PERMIT	24/07/15
2	RE-ISSUED FOR DEVELOPMENT PERMIT	24/05/31
1	ISSUED FOR DEVELOPMENT PERMIT	23/12/10

SEAL:

CONSULTANT:



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 VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
 604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ISLAND HOTEL
 REDEVELOPMENT**

PROJECT ADDRESS:
 440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:
**SITE PLAN & PROJECT
 DATA**

PROJECT NO: 23047 DRAWN BY: AW

SCALE: NTS REVIEW BY: JMS

DWG NO: **A100**



**FIRST AVENUE
FREEHOLDERS INC.**

3	RE-ISSUED FOR DEVELOPMENT PERMIT	240715
2	RE-ISSUED FOR DEVELOPMENT PERMIT	240531
1	ISSUED FOR DEVELOPMENT PERMIT	231210
NO.	ISSUE	Y/M/D

SEAL:

CONSULTANT:



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PROJECT NAME:

**ISLAND HOTEL
REDEVELOPMENT**

PROJECT ADDRESS:

440 1ST AVE, LADYSMITH, BC

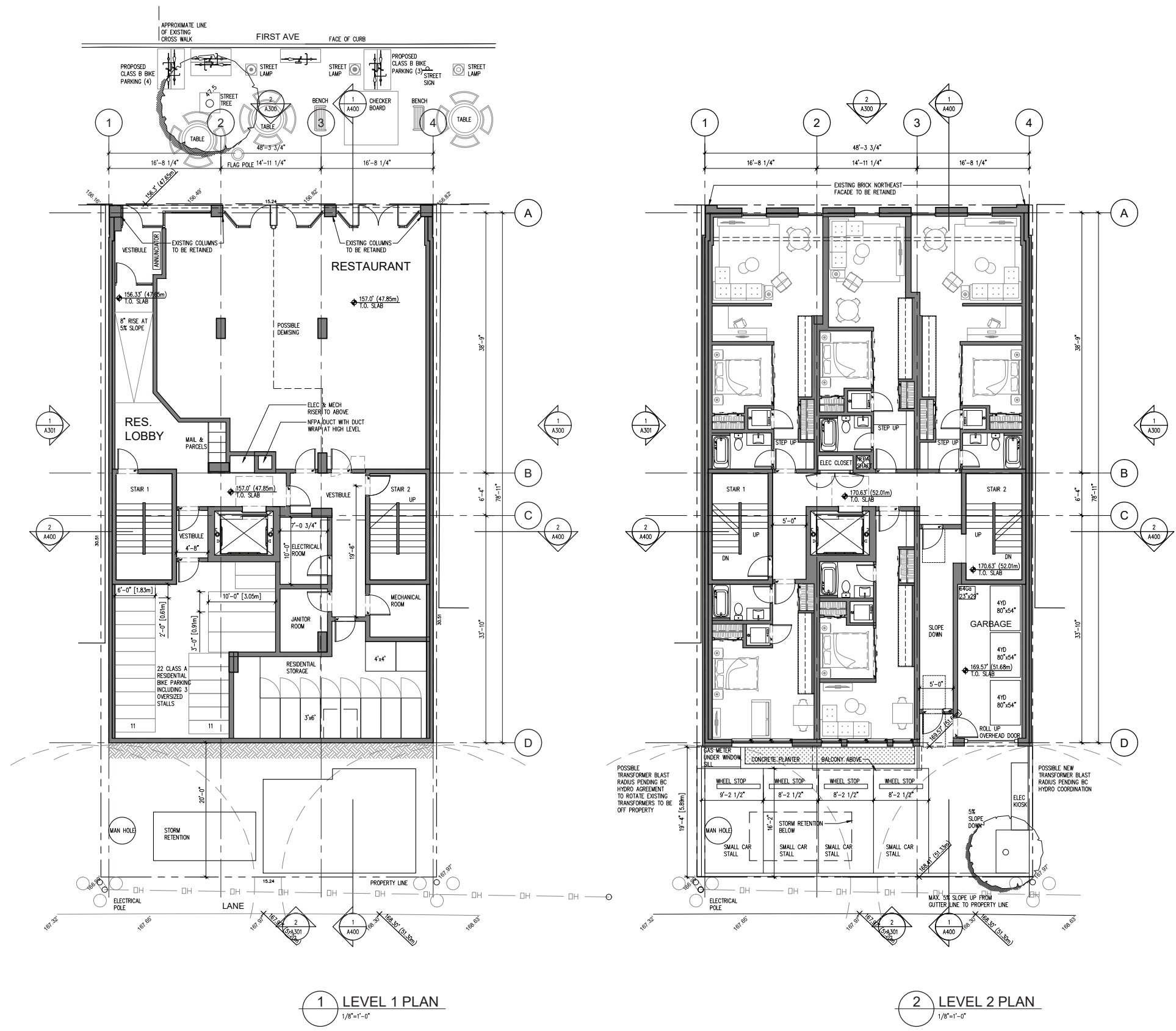
DRAWING TITLE:

FLOOR PLANS L1-L2

PROJECT NO: 23047 DRAWN BY: AW

SCALE: 1/8"=1'-0" REVIEW BY: JMS

DWG NO: **A200**



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NORTH ARROW:



OWNER/CLIENT:

FIRST AVENUE
FREEHOLDERS INC.

GENERAL NOTES:

NO.	ISSUE	YMD
2	RE-ISSUED FOR DEVELOPMENT PERMIT	24/05/21
1	ISSUED FOR DEVELOPMENT PERMIT	23/10/19
1	ISSUE	YMD



CONSULTANT:

IWA ARCHITECTS

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PROJECT NAME:
**ISLAND HOTEL
REDEVELOPMENT**

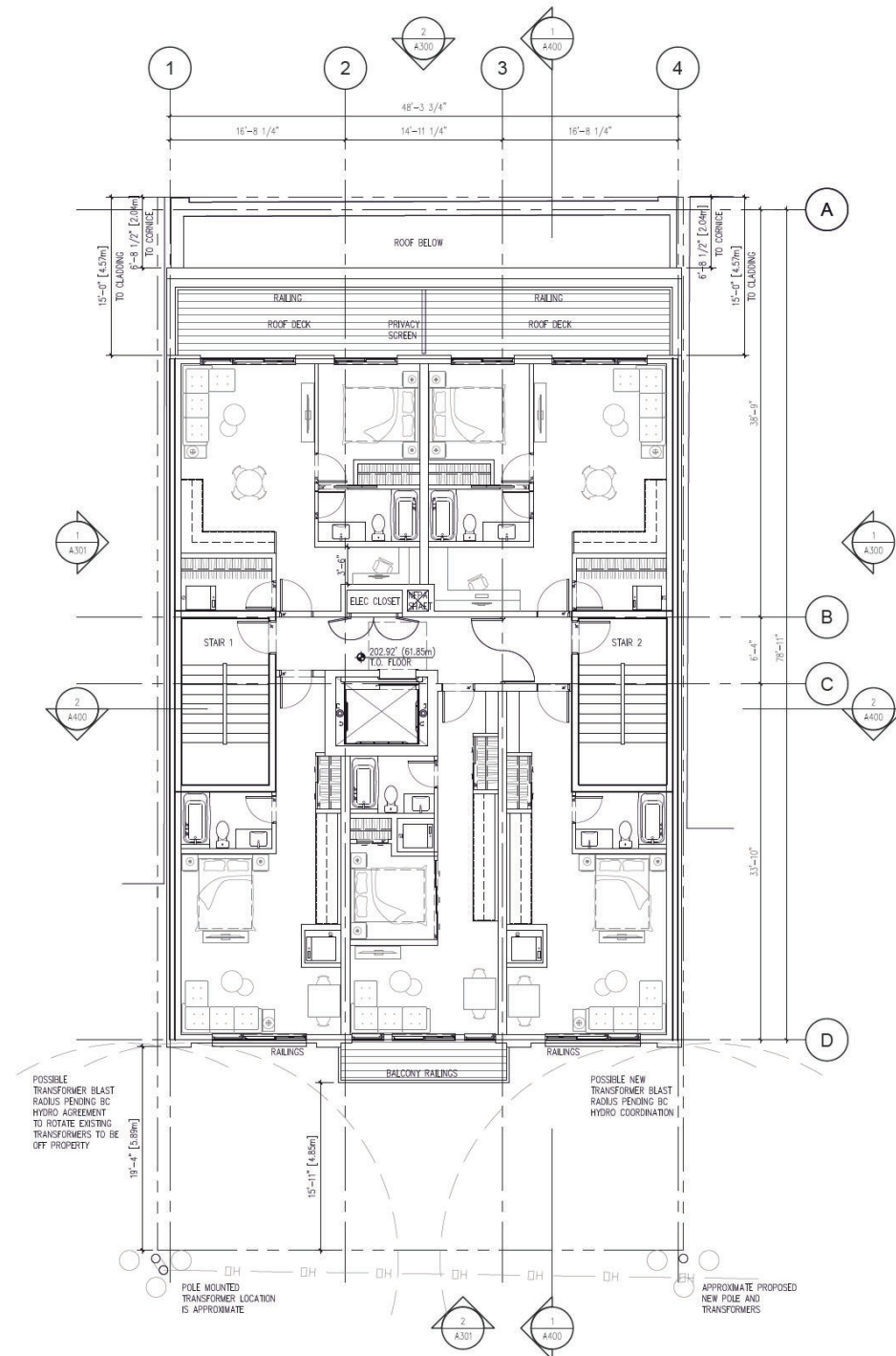
PROJECT ADDRESS:
440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:
FLOOR PLANS L5-L6

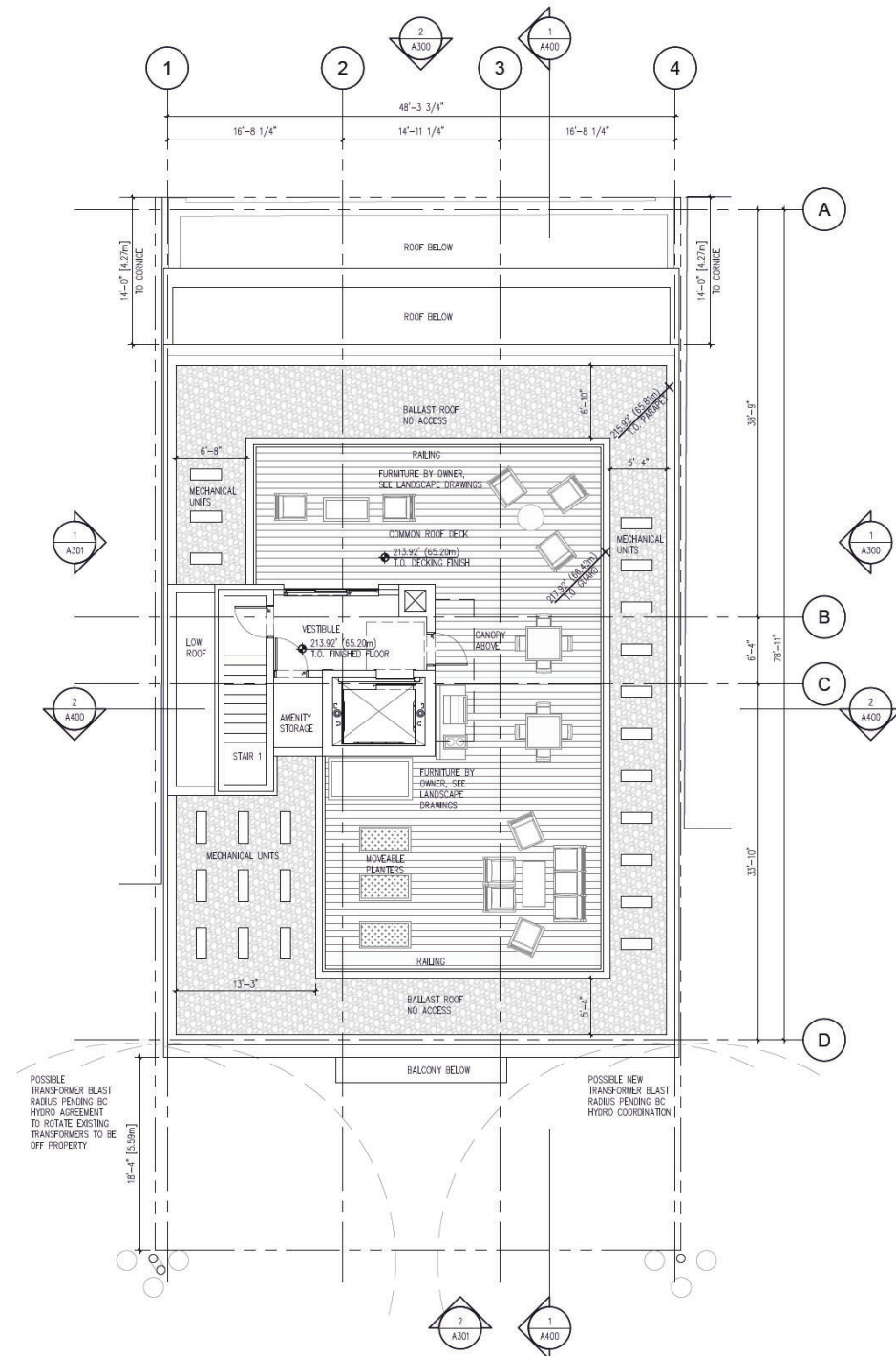
PROJECT NO: 23047 DRAWN BY: AW

SCALE: 1/8"=1'-0" REVIEW BY: JMS

DWG NO: **A202**



1 LEVEL 5 PLAN
1/8"=1'-0"



2 LEVEL 6 PLAN
1/8"=1'-0"

NORTH ARROW:



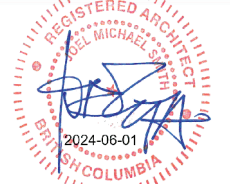
OWNER/CLIENT:

**FIRST AVENUE
FREEHOLDERS INC.**

GENERAL NOTES:

NO.	ISSUE	YMD
2	RE-ISSUED FOR DEVELOPMENT PERMIT	24/05/21
1	ISSUED FOR DEVELOPMENT PERMIT	23/10/19
1	ISSUE	YMD

SEAL:



CONSULTANT:



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PROJECT NAME:
**ISLAND HOTEL
REDEVELOPMENT**

PROJECT ADDRESS:
440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:
ROOF PLAN

PROJECT NO: 23047 DRAWN BY: AW

SCALE: 1/8"=1'-0" REVIEW BY: JMS

DWG NO: **A203**

BUILDING HEIGHT EXEMPTION

The zoning bylaw under 5.13 Height Exemptions notes:
a) Except as otherwise provided in each particular Zone, no Buildings and Structures may exceed the Height requirements of this Bylaw, except:

- i) Church spires, belfries, domes, monuments, fire and hose towers, observation towers, stadium bleachers, radio tower, television tower, satellite signal receiving apparatus, chimneys, flag poles, mast aenials, cooling towers, elevator and ventilating machinery, screening for mechanical equipment, stair towers, monuments, lighting poles, clothes line poles and Solar Energy Devices;

b) The Height exceptions indicated in Section 5.13(a)(i) shall be limited to a Height of one and a half times the permitted Height for Principal Buildings in the applicable Zone and provided that such Buildings or Structures do not cover more than 20 percent of the Parcel Area or more than 10 percent of the roof area if located on a Building or Structure, except in the case of Solar Energy Devices which shall have no roof coverage limit.

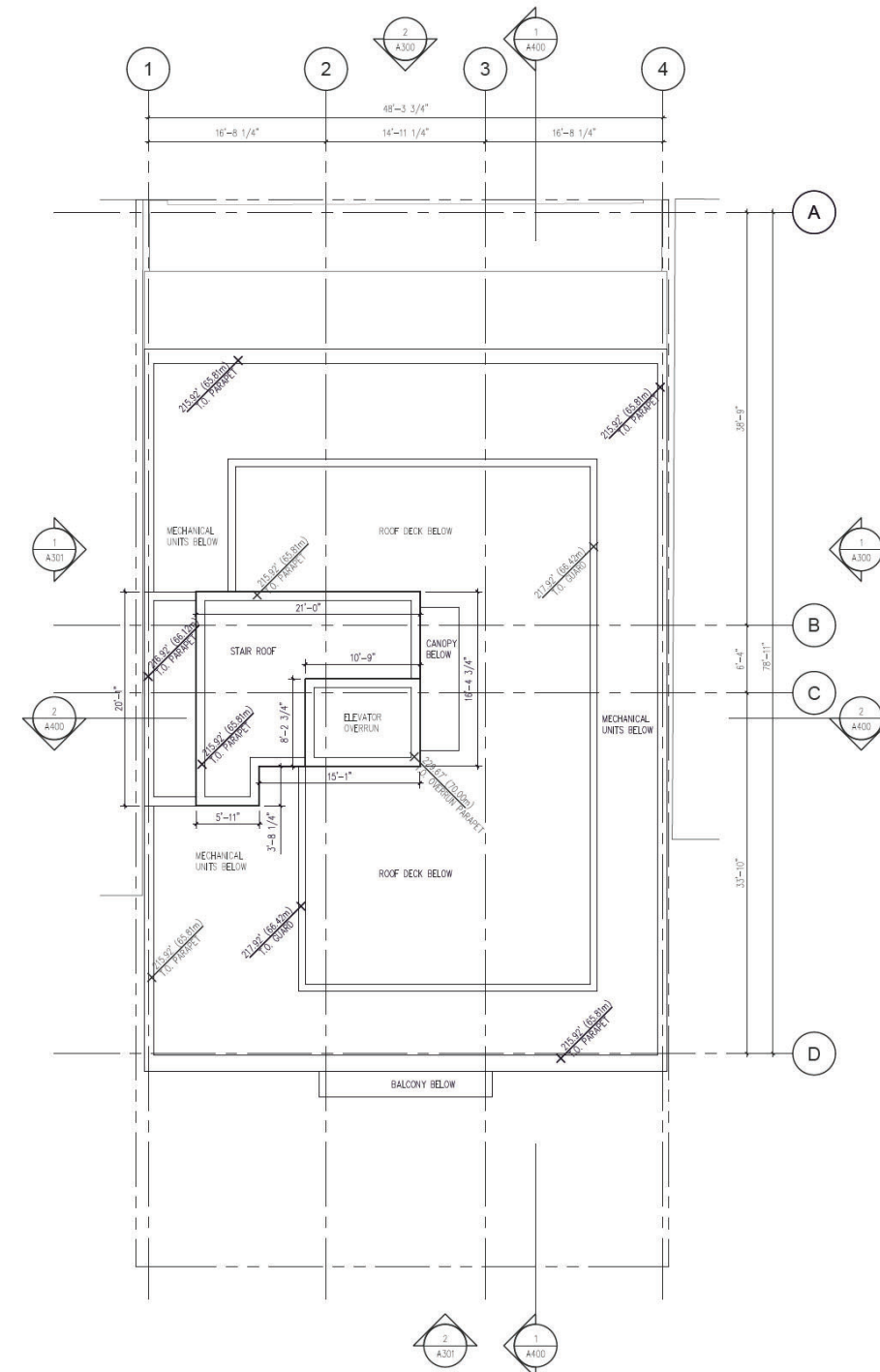
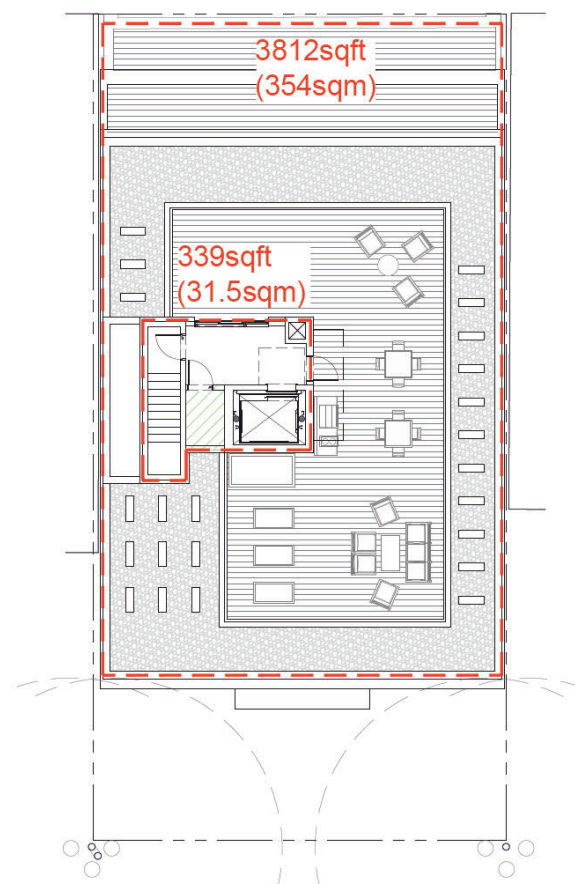
The building roof area equals 3,812sqft (354sqm)
10% of 3,812sqft = 381sqft (35.4sqm)

The parcel area equals 5,004sqft (464.9sqm)
20% of 5,004sqft = 1,000.8sqft (93.0sqm)

The proposed elevator and stair extension above the max building height measured to the exterior sheathing is 339sqft (31.5sqm).

The proposed elevator overrun height is 20.63m from average grade.

The elevator and stair extension is not more than 10% of the roof area, not more than 20% of the parcel area and not more than 1.5 times the permitted height of 18m.



1 ROOF PLAN
1/8"=1'-0"

AVERAGE FINISHED GRADING CALCULATION

ELEVATIONS AT EACH CORNER BASED ON SURVEY POINTS:
 SW 166.99'
 SE 167.97'
 NE 156.82'
 NW 156.16'

$166.99 + 167.97 + 156.82 + 156.16 = 647.94' / 4 = 161.985'$

162.0' OR 49.38m IS THE AVERAGE FINISHED GRADE

5.13 OF BYLAW FOR BUILDING HEIGHT EXCLUDES ELEVATOR MACHINERY AND STAIR TOWERS.

LOWER PARAPET IS PROPOSED 225.17' OR 68.63m

STAIR PARAPET IS PROPOSED 226.67' OR 69.09m

LOWER PARAPET BUILDING HEIGHT: 68.63m - 49.38m = 19.25m OR 63.16'

STAIR PARAPET BUILDING HEIGHT: 69.09m - 49.38m = 19.71m OR 64.67'

MATERIAL LEGEND

1	EXISTING BRICK	
2	NEW BRICK	BEIGE
3	STUCCO RAINSCREEN CLADDING	OFF-WHITE
4	STUCCO RAINSCREEN CLADDING	BEIGE
5	CLEAR GLAZING WITH VINYL FRAME	CHARCOAL FRAME
6	CLEAR GLAZING WITH ALUMINUM FRAME	CHARCOAL FRAME
7	FABRIC AWNING	GREEN
8	EXISTING CORNICE	REPAINTED GREEN
9	NEW CORNICE / FRIEZE	GREEN
10	LOUVERS	CHARCOAL
11	PICKET GUARDRAIL	CHARCOAL
12	PAINTED SIGN AS HISTORIC REFERENCE	
13	CONCRETE PLANTER, ARCHITECTURAL FINISH	SEALED
14	DOOR AND FRAMING	CHARCOAL
15	WINDOW HEADER TRIM	GREY

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NORTH ARROW:

OWNER/CLIENT:

FIRST AVENUE FREEHOLDERS INC.

GENERAL NOTES:

2	RE ISSUED FOR DEVELOPMENT PERMIT	240601
1	ISSUED FOR DEVELOPMENT PERMIT	230710
NO.	ISSUE	YMD



CONSULTANT:



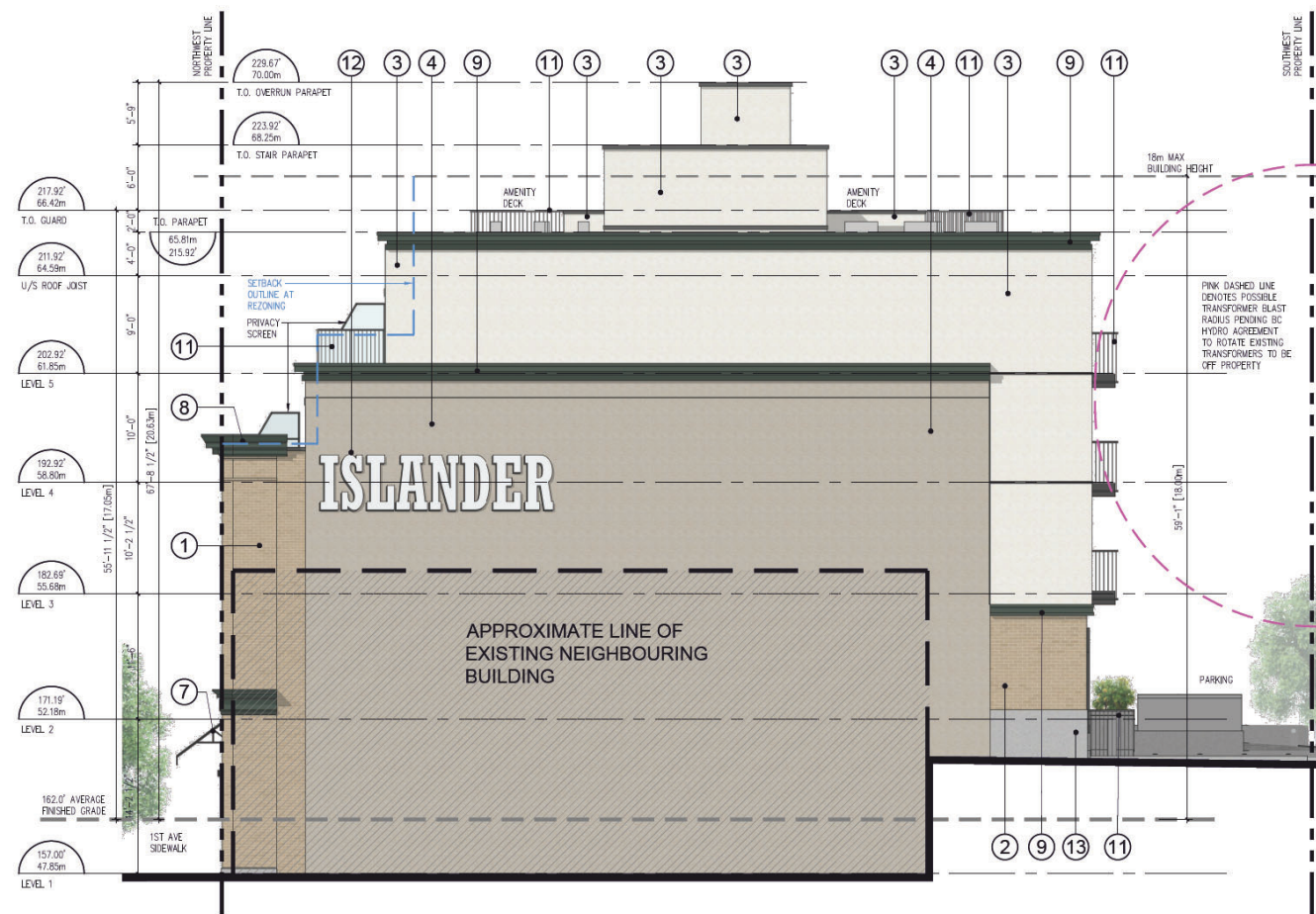
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PROJECT NAME:
ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS:
440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:
BUILDING ELEVATIONS NW & NE

PROJECT NO: 23047 DRAWN BY: AW
SCALE: 1/8"=1'-0" REVIEW BY: JMS
DWG NO: A300



1 NORTHWEST ELEVATION
1/8"=1'-0"



2 NORTHEAST (STREET) ELEVATION
1/8"=1'-0"

NORTH ARROW:

OWNER/CLIENT:

**FIRST AVENUE
FREEHOLDERS INC.**

GENERAL NOTES:

NO.	ISSUE	YMD
2	RE ISSUED FOR DEVELOPMENT PERMIT	24/09/21
1	ISSUED FOR DEVELOPMENT PERMIT	23/07/19
NO.	ISSUE	YMD



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PROJECT NAME:
**ISLAND HOTEL
REDEVELOPMENT**

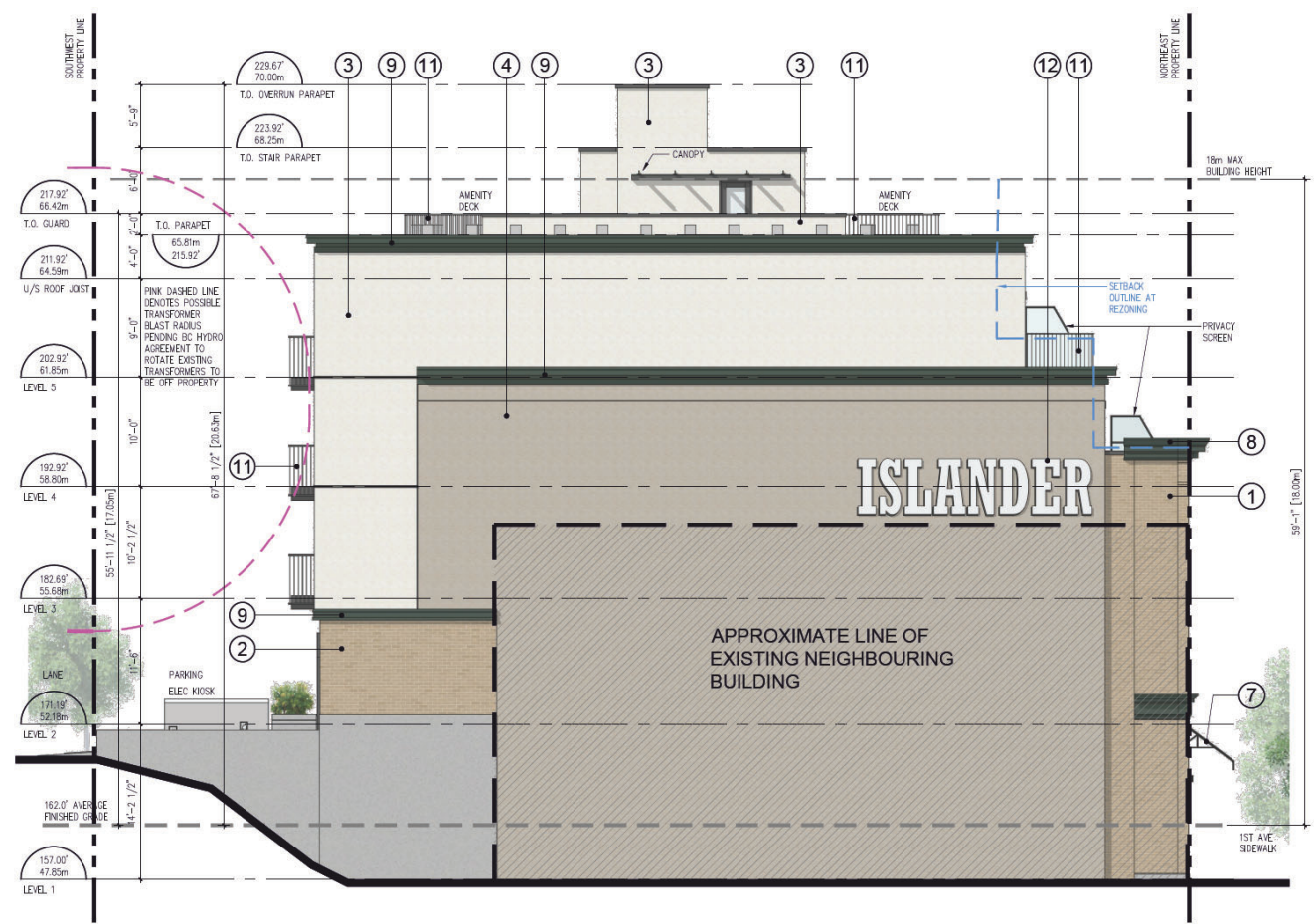
PROJECT ADDRESS:
440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:
**BUILDING ELEVATIONS
SE & SW**

PROJECT NO: 23047 DRAWN BY: AW
SCALE: 1/8"=1'-0" REVIEW BY: JMS
DWG NO: **A301**

MATERIAL LEGEND

①	EXISTING BRICK	
②	NEW BRICK	BEIGE
③	STUCCO RAINSCREEN CLADDING	OFF-WHITE
④	STUCCO RAINSCREEN CLADDING	BEIGE
⑤	CLEAR GLAZING WITH VINYL FRAME	CHARCOAL FRAME
⑥	CLEAR GLAZING WITH ALUMINUM FRAME	CHARCOAL FRAME
⑦	FABRIC AWNING	GREEN
⑧	EXISTING CORNICE	REPAINTED GREEN
⑨	NEW CORNICE / FRIEZE	GREEN
⑩	LOUVERS	CHARCOAL
⑪	PICKET GUARDRAIL	CHARCOAL
⑫	PAINTED SIGN AS HISTORIC REFERENCE	
⑬	CONCRETE PLANTER, ARCHITECTURAL FINISH	SEALED
⑭	DOOR AND FRAMING	CHARCOAL
⑮	WINDOW HEADER TRIM	GREY

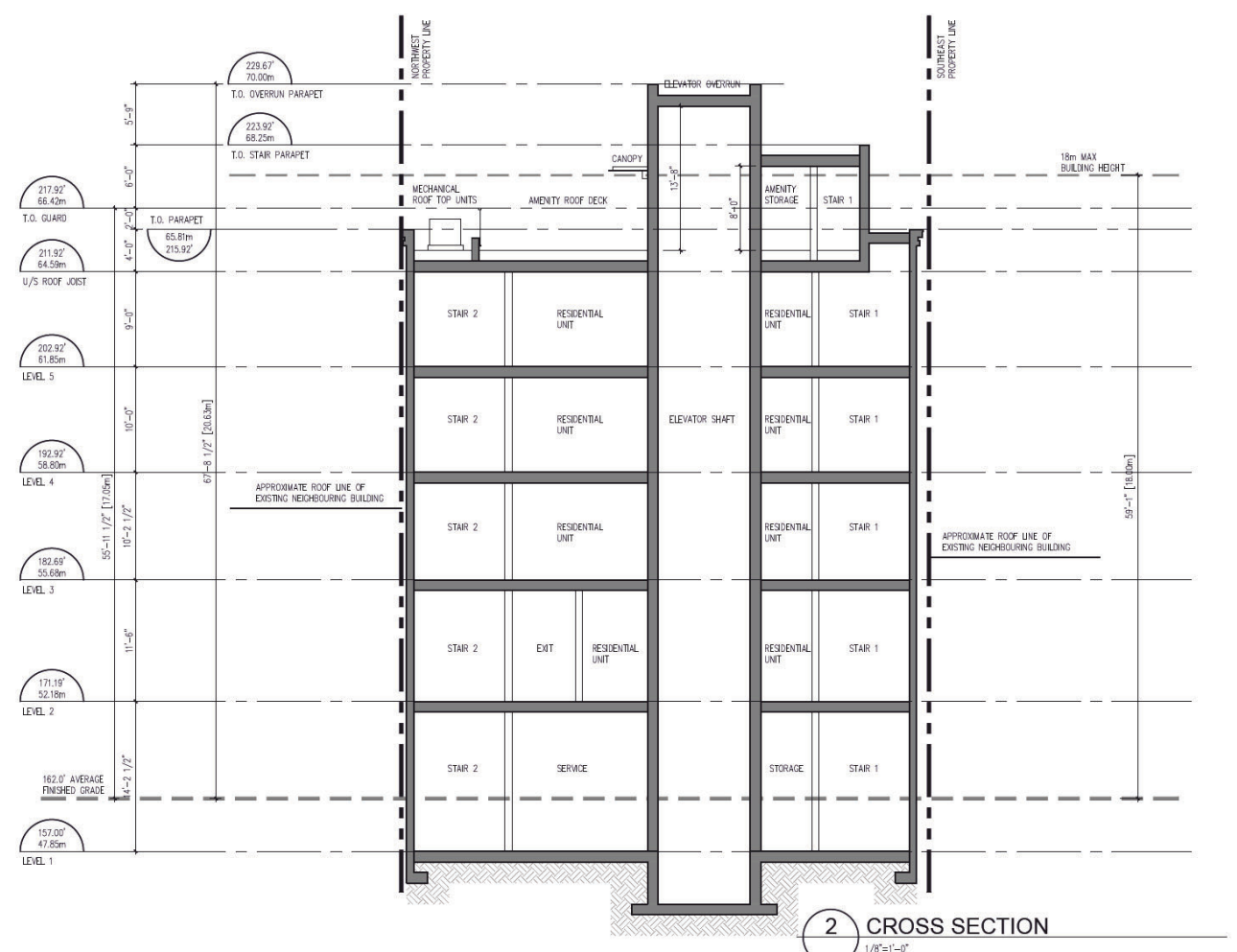
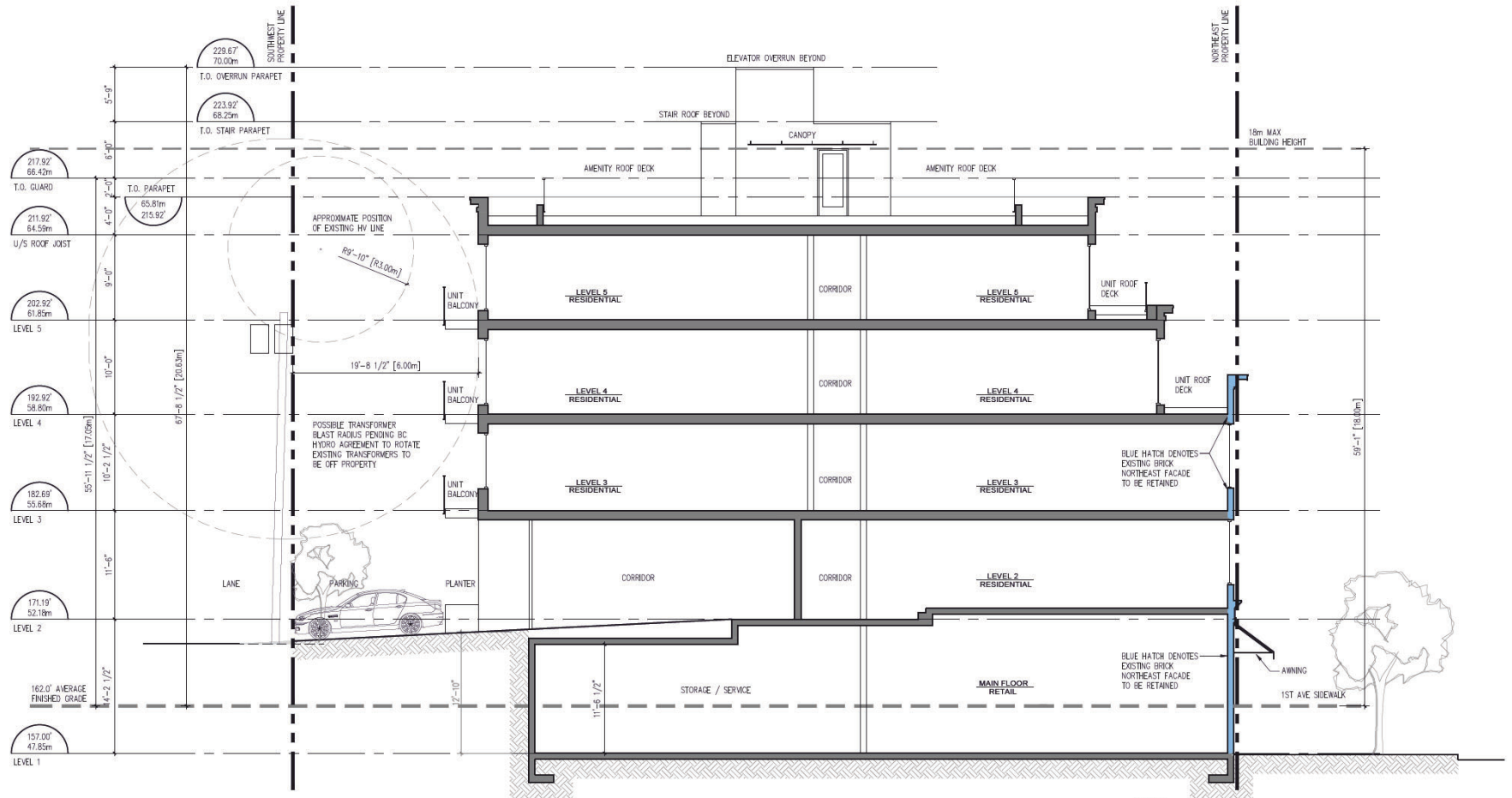


1 SOUTHEAST ELEVATION
1/8"=1'-0"



2 SOUTHWEST (LANE) ELEVATION
1/8"=1'-0"

Note: Southwest elevation shows previously proposed parking/landscaping arrangement. See Landscape Plan for the most recent proposed parking and landscaping configuration.



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NORTH ARROW:

OWNER/CLIENT:

FIRST AVENUE
FREEHOLDERS INC.

GENERAL NOTES:

NO.	ISSUE	Y/M/D
2	RE ISSUED FOR DEVELOPMENT PERMIT	240601
1	ISSUED FOR DEVELOPMENT PERMIT	230110

SEAL:



CONSULTANT:



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VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ISLAND HOTEL
REDEVELOPMENT**

PROJECT ADDRESS:
440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:
BUILDING SECTIONS

PROJECT NO: 23047 DRAWN BY: AW
SCALE: 1/8"=1'-0" REVIEW BY: JMS
DWG NO: A400

Town of Ladysmith

Community Heritage Register



Adopted: May 1, 2006
Updated: March 1, 2010
February 3, 2014
November 20, 2017
December 20, 2018



ISLAND HOTEL 440 FIRST AVENUE

Other Name(s): Europe Hotel

Added to Register: 2006

Description of the Historic Place

The Island Hotel is a three-storey, brick-faced Edwardian commercial building located on the west side of Ladysmith's main commercial corridor. The historic place is confined to the building footprint.

Heritage Value

The Island Hotel is a very good example of an Edwardian commercial façade. Originally built in 1900 as the Europe Hotel, the building underwent substantial renovations in 1913. The hotel was raised, a floor was added and a brick façade was applied. These changes were the result of new

laws that required hotels to have certain numbers of rooms in order to hold liquor licenses. The restrained, symmetrical style reflects a shift from the more eclectic and elaborate styles of the Victorian era that preceded it. Although some later alterations were made to the building to accommodate changing street grades, the Island Hotel is substantially intact.

The Island Hotel is a tangible reminder of the social and economic importance of hotels in Ladysmith's history. Like most mining communities, early Ladysmith had a large population of single, often transient, men. As affordable housing alternatives, hotels functioned as living quarters and, in the saloons and restaurants located on the ground floor, as social centres. The hotel contributes significantly to the understanding of working-class male history.

The Island Hotel is part of a grouping of largely intact historic buildings in Ladysmith's commercial core. Situated mid-block, the building is part of an almost continuous city block of similarly scaled, historic buildings that collectively create a cohesive streetscape.

Associated with Ladysmith's earliest commercial development, the Island Hotel has operated continuously in Ladysmith since 1900 and is a significant contributor to the heritage character of the area.

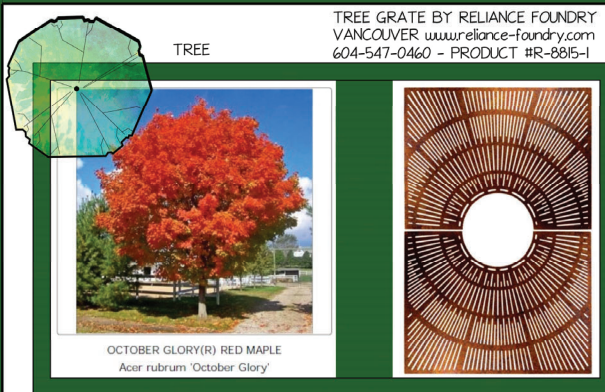
Character-Defining Elements

The character-defining elements of the Island Hotel include:

- the building's continuous commercial use
- all the elements of a modest Edwardian commercial building including the simple form and massing, symmetrical façade, brick facing, flat roof, simple one-over-one wood-framed windows, cornice and arrangements of doors and windows at the street level
- the building's location within a group of similarly proportioned, historic commercial buildings on the town's main commercial street.

TREE

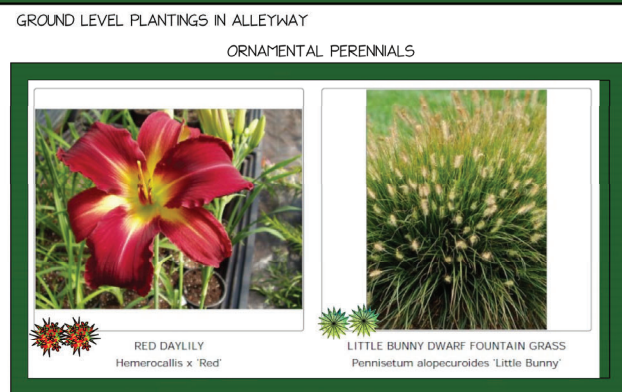
TREE GRATE BY RELIANCE FOUNDRY VANCOUVER www.reliance-foundry.com 604-547-0460 - PRODUCT #R-8815-1



OCTOBER GLORY(R) RED MAPLE
Acer rubrum 'October Glory'

GROUND LEVEL PLANTINGS IN ALLEYWAY

ORNAMENTAL PERENNIALS



RED DAYLILY
Hemerocallis x 'Red'

LITTLE BUNNY DWARF FOUNTAIN GRASS
Pennisetum alopecuroides 'Little Bunny'

COSTCO KETER CORTINA 43x75" PREFAB GARDEN SHED (OR SIMILAR)



GARDEN PLANTERS FOR RESIDENTIAL USE

Urban Form Self Watering Rectangular Planter



Material Specifications	Customized Solutions
<ul style="list-style-type: none"> Material: Grade Aluminum Frame Stainless Steel Hardware Finish: Powder Coated Aluminum 100% Recycled Plastic Slat Western Red Cedar WPE Hardwood Acryc Modified Pine 	<ul style="list-style-type: none"> Length: 48" (Wood Grain Aluminum Cladding Available)
	Product Dimensions
	<ul style="list-style-type: none"> Height: 21 inches / 53 cm Depth: 30 inches / 76 cm Length: 50 inches / 128 cm Weight: 245 lbs / 111 kg Reservoir Capacity: 50.9 US Gal / 190L Soil Capacity: 18.0 Cubic Feet / 514L
	Recycled Content
	<ul style="list-style-type: none"> Recycled Plastic Content: 100% Recycled Content By Weight: 45%

Irrigation by hose bib. Supply flexible hose and spray nozzle.

BC LANDSCAPE STANDARDS

All construction to meet the requirements as set out in the BC Landscape Standards, current edition, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape and Nursery Association jointly. Copies of the BC Landscape Standards are available through the BCLNA office at 1-604-574-7772.

Contractor to consult with designer regarding any discrepancies.

Contractor to consult with designer if plant substitutions are required due to availability.

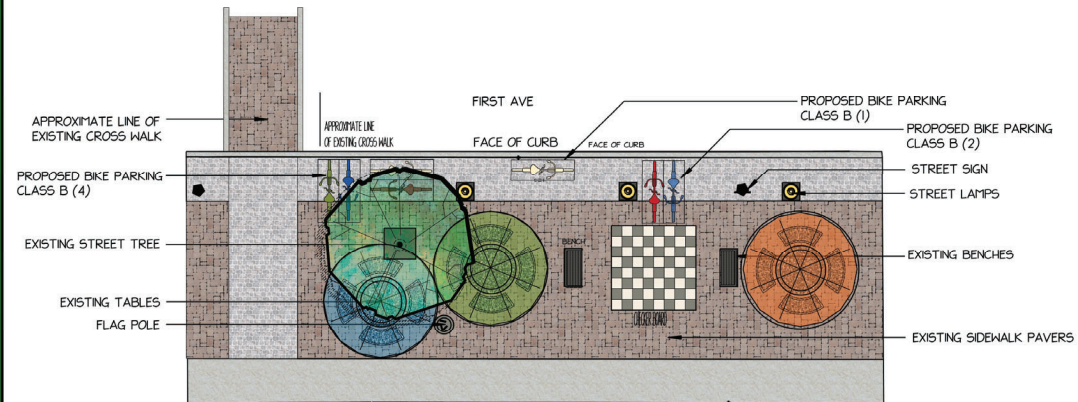
Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

Refer to landscape specifications supplied with this plan at building permit level. If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS:

- Minimum depth for Trees: 10m (40')
- Trees as per details.
- Minimum depth for shrub beds: 450mm (18')
- Minimum depth for mulch: 75mm (3')



Gas or Propane Fire Feature (Brand and style to be determined)



PATIO SURFACETO BE COMPOSITE (WOOD LOOK) BRAND TO BE DETERMINED



PROJECT:

ISLAND HOTEL REDEVELOPMENT LADYSMITH, B.C.

CLIENT:

FIRST AVENUE FREEHOLDERS INC.

ARCHITECT:

WA ARCHITECTS

LANDSCAPE DESIGNER:

MYSTIC WOODS LANDSCAPE DESIGN

phone: 250-286-1327
design@mysticwoods.ca

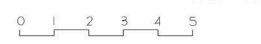
DRAWN BY:
Corinne Matheson CLD, OP
Certified Landscape Designer
Qualified Plantsman

Member of the BCLNA / CLNA



SCALE: 1 : 100

SCALE IN METERS



DATE: October 20, 2023

Issued: October 24, 2023 For review

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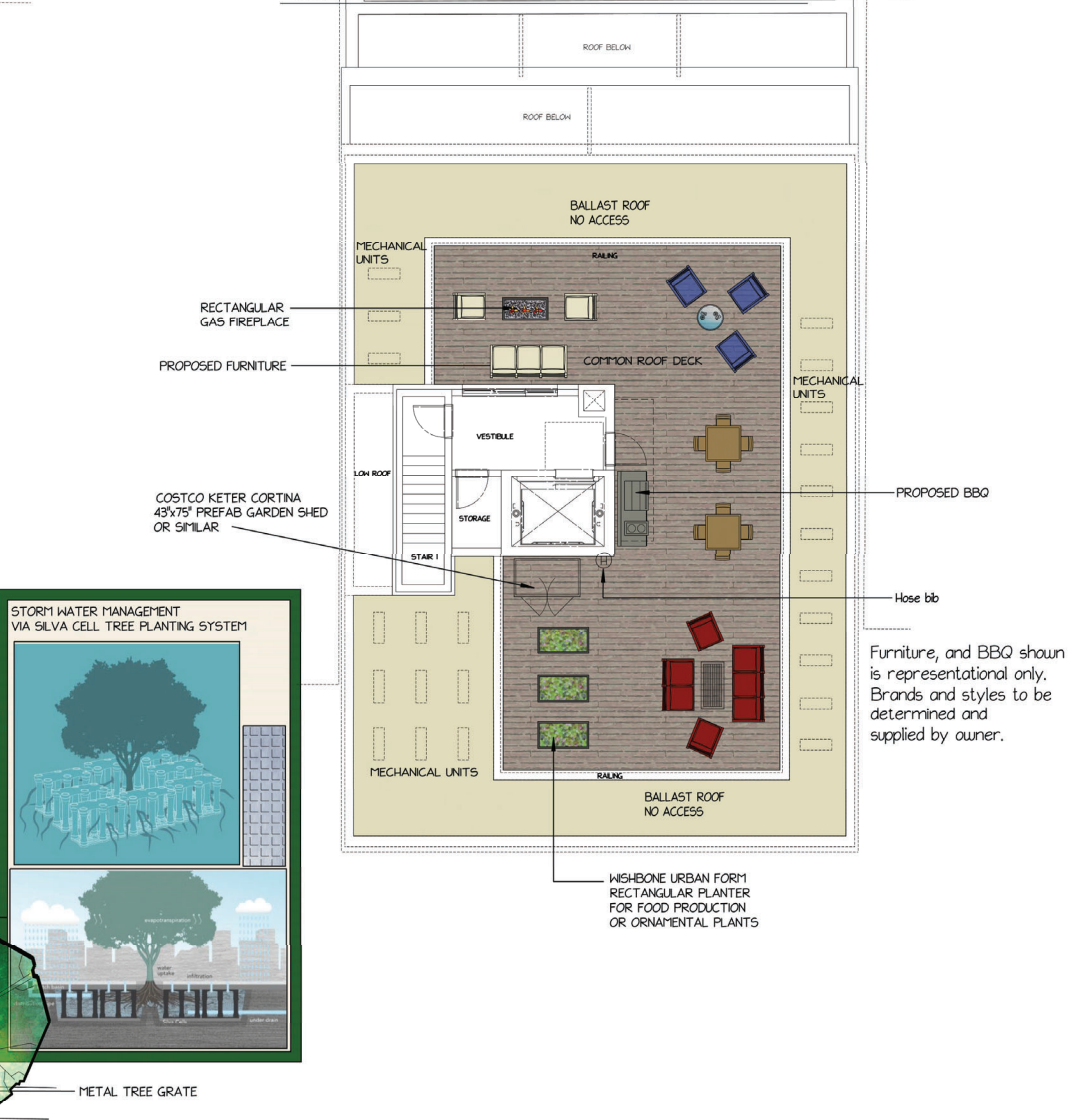
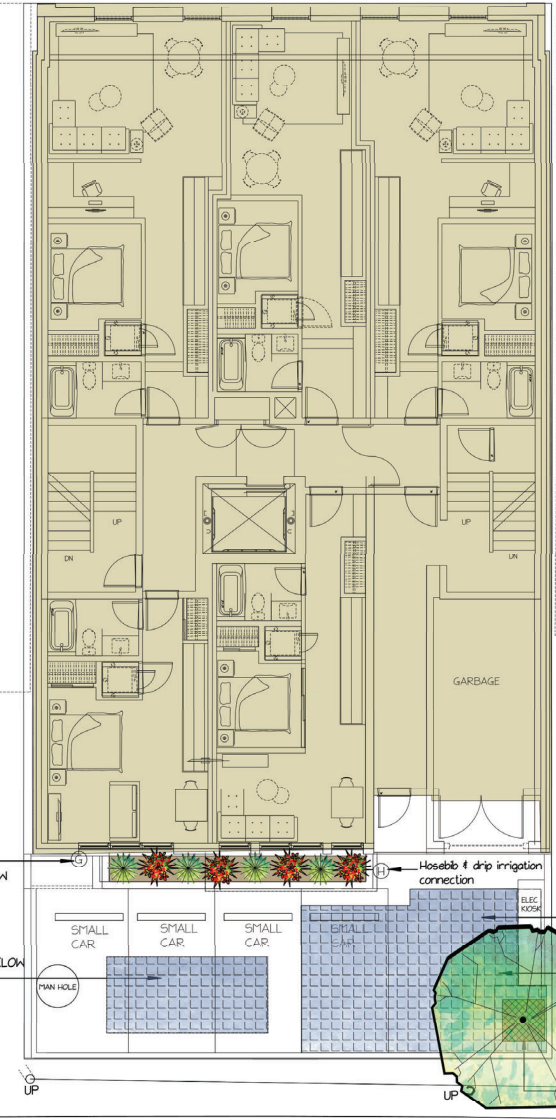
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Issued: May 30, 2024 For Development Permit

Issued: July 10, 2024 For Development Permit



DRAWING:

LANDSCAPE MASTER PLAN

DRAWING #

L1 of 3

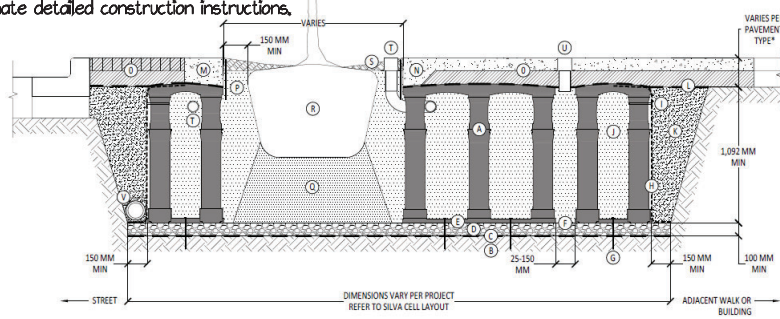
TREE PLANTING

GENERIC SILVA CELL SYSTEM 1m DEPTH DIAGRAM

contact Mike James at Deep Root
m.james@deeproot.com
604-220-9521
to coordinate detailed construction instructions.

www.deeproot.com

Silva cells must be installed prior to all concrete and asphalt surfacing.



SILVA CELL SYSTEM 3X

KEY PLAN

- (A) SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- (B) SUBGRADE, COMPACTED
- (C) GEOTEXTILE FABRIC, PLACED ABOVE SUBGRADE
- (D) 100MM MIN AGGREGATE SUB-BASE, COMPACTED TO 95% PROCTOR
- (E) SILVA CELL BASE (SLOPE, 10% MAX)
- (F) 25 TO 150MM SPACING BETWEEN SILVA CELLS AT BASE
- (G) ANCHORING SPIKES - CONTACT DEEPROOT FOR ALTERNATIVE
- (H) GEGRID, WRAPPED AROUND PERIMETER OF SYSTEM, WITH 150MM TOR (OUTWARD FROM BASE) AND 300MM MIN EXCESS (OVER TOP OF DECK)
- (I) CABLE TIE, ATTACHING GEGRID TO SILVA CELL AT BASE OF UPPER LEG FLARE, AS NEEDED
- (J) PLANTING SOIL, PER PROJECT SPECIFICATIONS, PLACED IN LIFTS AND WALK-IN COMPACTED TO 75-85% PROCTOR
- (K) COMPACTED BACKFILL, PER PROJECT SPECIFICATIONS
- (L) GEOTEXTILE FABRIC TO EDGE OF EXCAVATION
- (M) RIBBON CURB AT TREE OPENING (TO BE USED WITH PAVERS OR ASPHALT)
- (N) THICK PAVEMENT EDGE AT TREE OPENING (TO BE USED WITH CONCRETE)
- (O) PAVEMENT AND AGGREGATE BASE PER PROJECT *
- (P) DEEPROOT ROOT BARRIER, 300 OR 450 MML DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT
- (Q) PLANTING SOIL BELOW ROOT BALL, COMPACTED WELL TO PREVENT SETTLING
- (R) ROOT BALL
- (S) TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
- (T) DEEPROOT WATER AND AIR VENT-ROOTBALL, WHEN REQUIRED
- (U) DEEPROOT WATER AND AIR VENT, WHEN REQUIRED
- (V) UNDERDRAIN SYSTEM, WHEN REQUIRED (LOCATION AND DETAILS BY OTHERS)

***MINIMUM PAVEMENT PROFILE OPTIONS TO MEET CSA-S6-S7-S8N**

PAVEMENT	+ AGGREGATE BASE COURSE
150 MM CONCRETE	+ 150 MM AGGREGATE
75 MM PAVER	+ 300 MM AGGREGATE
100 MM ASPHALT	+ 300 MM AGGREGATE
65 MM PAVER	+ 125 MM CONCRETE

NOTES

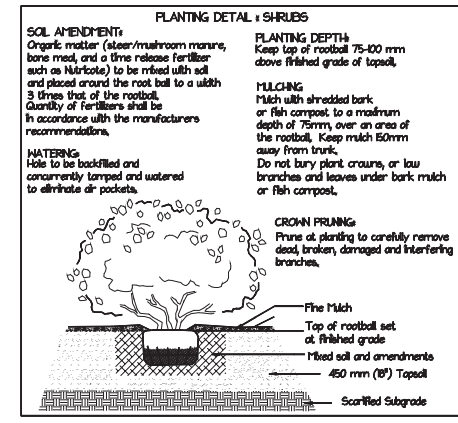
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE SUPPLEMENTAL IRRIGATION.
- DO NOT SCALE DRAWINGS.

SCOPE OF WORK
Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the landscape drawings and specifications and generally consists of the following:

- GROUNDLEVEL**
- Site Preparation
 - Finish grading and landscape drainage
 - Installation of underground irrigation system
 - Supply and placement of growing medium
 - Testing growing medium and supply of additives (fertilizers) to meet requirements of soil test, and BC Landscape Standards.
 - Preparation of planting beds, supply of plant materials and planting.
 - Supply and placement of fine composted mulch on plant beds.
 - Establishment Maintenance for one year.
 - Other work required to complete landscape.
 - Leave site completely clean and tidy.

Supply and installation of Silva cells, Marina cells and deeproot barriers, by general contractor.

- AMENITY DECK**
- Supply and installation of Maritime Planters.
 - Supply and placement of growing medium
 - Testing growing medium and supply of additives (fertilizers) to meet requirements of soil test, and BC Landscape Standards.
 - Other work required to complete landscape.
 - Leave site completely clean and tidy.
- All furniture, BBQ, Shed and Fire Features to be determined and supplied by Owners.

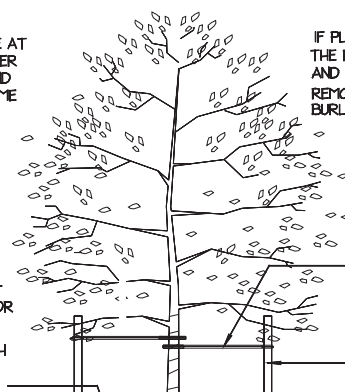


GROUND LEVEL PLANTS

Qty	Botanical Name	Common Name	Size/Condition
Trees			
1	<i>Acer rubrum</i> 'October Glory'	OCTOBER GLORY(R) RED MAPLE	5 cm cal
Ornamental Grasses			
4	<i>Pennisetum decaoides</i> 'Little Bunny'	LITTLE BUNNY DWARF FOUNTAIN GRASS	# pot
Perennials			
4	<i>Hemerocallis</i> x 'Red'	RED DAYLILY	# pot

DECIDUOUS TREE PLANTING DETAIL

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR THINGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200 MM (8 IN) INTO PLANTING HOLE. REMOVE ALL TWINE, ROPE AND WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL.

SET TOP OF ROOT BALL AT LEAST 25-50 MM (1-2 IN.) ABOVE GRADE (OR HIGHER IN SLOWLY DRAINING SOILS)

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

TIE USING BIODEGRADABLE MATERIAL SUCH AS BURLAP OR OTHER TREE TIE TAPE.

1800 x 40 MM (72IN. x 1-1/2IN.) HARDWOOD STAKES OR OTHER APPROVED STAKE MATERIAL. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

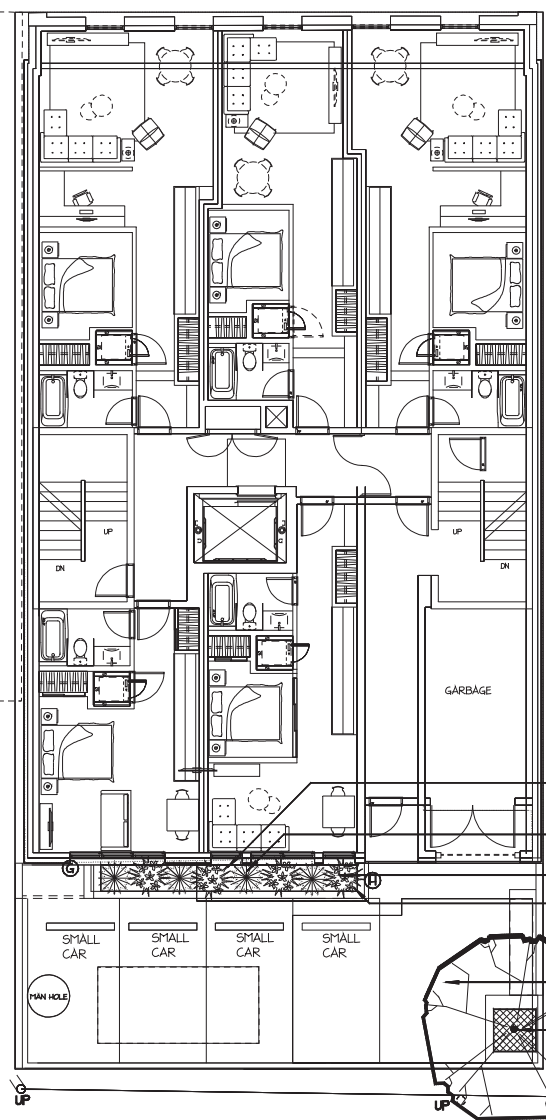
TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE.

PLACE ROOT BALL ON COMPACTED NEW SOIL.

TREE PIT TO BE DETERMINED BY SILVACELL DESIGN NEEDED TO PERFORM STORM WATER MANAGEMENT AS PER CIVIL.

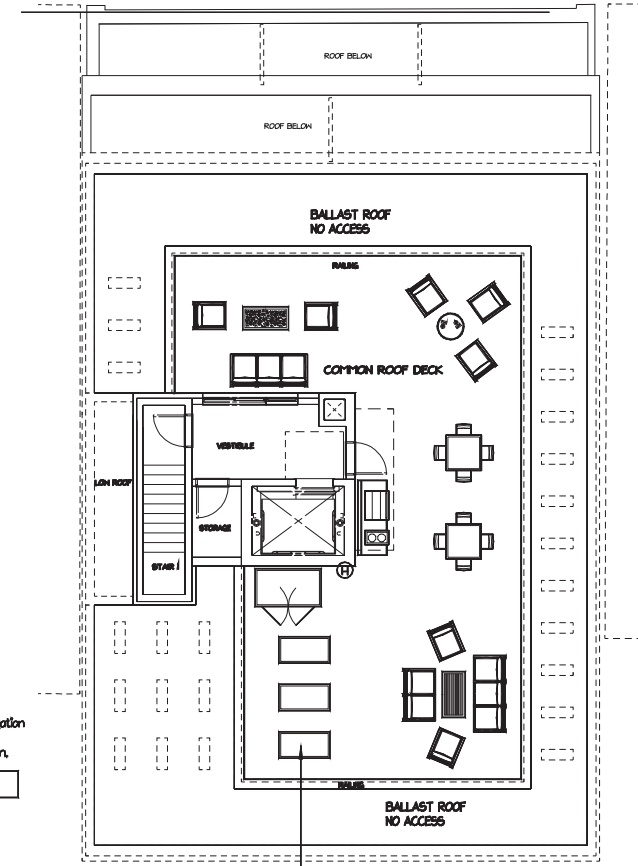
FILL DEPTH OF EXCAVATED AREAS WITH TREE SOIL AND COMPACT UP TO THE DEPTH OF THE BOTTOM OF ROOT BALL. BACK FILL SIDES OF ROOT BALL WITH SOIL MIXTURE AS PER CHART FOR TREE SOIL.

SOIL VOLUME FOR TREE SHALL BE A MINIMUM 40 CUBIC METERS FILLING IN ALL SILVA CELLS.



LEVEL 2 PLAN

Depth of Silva Cells = 1 meter
Soil volume approximately 30 cubic meters



LEVEL 5 PLAN

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- Minimum depth for shrub beds 450mm (18')
- Minimum depth for mulch 75mm (3')

PROJECT:

ISLAND HOTEL REDEVELOPMENT LADYSMITH, BC.

CLIENT:

FIRST AVENUE FREEHOLDERS INC.

ARCHITECT:

HA ARCHITECTS

LANDSCAPE DESIGNER:

MYSTIC WOODS LANDSCAPE DESIGN

phone: 250-266-1327
design@mysticwoods.ca

DRAWN BY:
Corinne Matheson CLD, QP
Certified Landscape Designer
Qualified Planterman

Member of the BCLNA / CLNA



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SCALE IN METERS

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Issued: July 10, 2024 For Development Permit

DRAWING:

LANDSCAPE PLANTING PLAN

DRAWING #:

L2 of 3



Jul 30, 2024

Development Services Department

132C Roberts St.
Ladysmith, BC
V9G1A2

Attn: Julie Thompson

RE: Development Permit Application for 440 1st Ave - Design Rationale

Project Summary

WA Architects Ltd.

| PRINCIPALS

Neil Banich
DESIGN DIRECTOR

Joel Smith
ARCHITECT AIBC, AAA, SAA, AIA

David Echaiz-McGrath
ARCHITECT AIBC, AAA, SAA

Barry Weih
PRINCIPAL (HONORARY)
ARCHITECT AIBC, AAA,
SAA, LEED® AP

| STUDIOS

VAN
950 – 1500 W Georgia Street
Vancouver, BC V6G 2Z6
604.685.3529

VIC
104 – 3212 Jacklin Road
Victoria, BC V9B 0J5
250.391.4933

wa-arch.ca

The building at 440 1st Ave currently known as the Island Hotel or the Islander is an important and iconic historic landmark in downtown Ladysmith. Built in 1900 as a 2-storey traditional structure branded the “Europe Hotel”, the building was raised, refaced and added to in 1913, creating the current Edwardian form.

The 1913 modifications were in response to economic and legal demands of the time that required a certain number of rooms in order to obtain liquor licensing: a necessity for financial viability. In response to similar economic pressures, this proposal is the further evolution of the building from derelict, underutilized rooming house, to a carefully crafted integration of the precious 3-storey historic masonry edifice with a new concrete and wood structure comprising 22-newly constructed modern rental homes and almost 1500 sf of grade level commercial space.

The architectural design, height and massing of the current proposal is driven strongly by the retained original building façade. This evolution of the “Islander” building proposes a 2-storey addition, set back at both floors from the retained historic cornice and parapet. This 5 storey form fits within the OCP height limitations for developments on 1st Ave. The fenestration includes large openings to provide natural light to the dwellings, while maintaining the punctuation and simplicity of the existing windows of the original Edwardian façade. Modest, restrained cladding on the addition seeks to differentiate while complementing the original materiality of the building.

From the lane (west) side of the property the new structure is expressed as a 4-storey building, architecturally divided between a 1-storey base on which a 3-storey form extrudes. The level at grade is wrapped in a buff-coloured brick, referencing the materiality of the heritage elevation and providing a grounding expression at this secondary entrance. The floors above include a subtle columnar expression matching the rhythm of 1st Ave brick columns but in a contrasting rain screen stucco material.

Above the 5th floor is a common rooftop deck over-looking 1st Ave and the park to the west, which provides spectacular views to the Ladysmith waterfront and town for all residents of the building. An elevator provides wheelchair accessibility to this amenity with a vestibule for weather protection, and exiting is limited to one stair. These spaces fall within the bylaw exclusions for building height and do not exceed 10% of the building roof area as described on drawing A203. The cladding and colour of this massing is kept light and simplified to minimize the visual impact above the roof line. The common rooftop amenity deck includes seating, barbecues and planting beds, improving livability and social engagement opportunities for the building’s residents.

Four required parking stalls are provided on the west (lane) side of the building. In accordance with the heritage revitalization agreement, 22 class a bicycle parking stalls (1 stall / residential suite) are provided on level 1 in a secured indoor room. As the heritage façade does not allow for a setback from the 1st Ave, 7 class b bicycle parking stalls are proposed offsite via four racks on the public sidewalk in front of the



building. This location is intended to be most visible and practical for those frequenting the ground floor business and visiting the residences from the street.

Setbacks, Building Height, and Massing

The window locations and the floor heights of the original “Island Hotel” determines the interior suite demising and the building height. The original ceiling heights of the Island Hotel were higher than current norms for residential buildings. At 11’-6” and 10’-2” respectively, level 2 and level 3 total almost 3’ higher than would typically be built today. In addition, the main floor of the original building was raised from the street by over 1m from 1st Ave, resulting in the upper floors being higher than usual. Another factor impacting the massing is the location of BC Hydro’s pole mounted electrical transformers on the lane. These limit the allowance of unprotected openings or vents to 6m or ~20’ away from the lane property line, leaving very little volume around the site that is feasible to develop.

Due to these site constraints, we are proposing a variance to reduce the level 4 northeast setback from 2.7m to 2.35m (measured to cladding), and the level 5 setback from 5.4m to 4.57m. This equals a reduction in setback of 0.35m and 0.83m on level 4 and 5 respectively. The proposed setbacks enable the creation of livable east-facing 1-bedroom suites with functional private roof decks, while maintaining a distinct physical separation from the retained heritage facade fronting levels 1, 2 and 3.

The proposal includes a flat roof, both to provide the residents with a common amenity space and to respect the architectural style of the existing character. The proposed building height to the rooftop guardrail, sits approximately 1m below the maximum building height per the zoning bylaw.

The height of the second floor is determined by the level that it must meet the retained heritage façade. Thus, the second floor is elevated above the rear lane grade, providing the suites with some privacy and a vantage over the parked vehicles. A raised planter is proposed to screen vehicles from the residential units. In accordance with town requirements an at-grade tree has been located adjacent to the new secondary entrance to provide shading for the parked cars. The level 2 building entrance provides residents with direct access to the elevator via a secured walkway and entry lobby treated with high quality finishes and lighting.

Form, Character, and Conservation

The architectural design, height and massing of the current proposal is driven strongly by the retained building façade. The current proposal creates distinct architectural elements brought together in the building composition. A grounded brick base anchors both the street (existing) and lane (proposed) elevations. Above these sit a rainscreen stucco form, in lighter off-white and beige colours to distinguish but still relate to the heritage facade.

The design approach for the redevelopment of 440 1st Ave has been guided by the “Standards and Guidelines for the Conservation of Historic Places in Canada”. The historic façade of the Island Hotel building facing 1st Ave will be retained and restored with the guidance of a conservation consultant and careful site inspection. The new building will be physically and visually compatible with, subordinate to and distinguishable from the existing character, as advised by conservation guidelines.

While retaining the structure and height of the historic façade, the storefront and ground level will be lowered to better respond to the existing grade of 1st Avenue. New clear storefront glazing provides a visual connection between the commercial use and sidewalk, helping restore the historic activities of the street. The residential lobby is shifted to the north “bay” of the building, allowing flexibility in commercial



tenancy while maintaining the traditional configuration of commercial entrances in Ladysmith.

The existing window openings facing 1st Avenue will be reconstructed with new, thermally efficient double-glazed units in the “one over one” Edwardian proportions of the existing facade. The window frames are proposed with a “charcoal” finish, providing a single consistent colour for all new glazing across the project, ensuring that the new glazing remains distinguishable from the conserved façade. The existing mid-level and upper cornices are to be restored and will be painted with a deep green colour. New fabric awnings between the existing brick openings are proposed in the same tone, providing continuity of the current streetscape weather protection. Above the existing three storey massing of the historic “base”, levels 4 and 5 are set back from the retained façade.

The window design focuses on maintaining symmetry and repetition in the façade, as displayed in the Edwardian elevation below. Expansive glazing prioritises the livability of these urban suites, maximising natural light into the interior. Two simplified cornices are proposed to cap each setback. Up and down lighting is proposed on the existing brick piers at grade, to uniformly and softly light the building at night.

The upper-level cladding material is proposed as a rainscreen stucco assembly, providing a simple and subdued expression for the addition, and ensuring that the massing remains secondary and subordinate to the lower heritage facade. Employing a rainscreen provides a well-protected and easy to maintain envelope for the building. In squaring off the silhouette of the building with a flat roof, the historic, urban nature of the existing building is respected and remains subordinate to its Edwardian style.

The side walls against the neighbouring property lines require fire rated non-combustible masonry construction, and will be finished in a stucco rainscreen assembly. The stucco is proposed in buff/beige and off-white colours, providing colour continuity with the brick heritage façade while remaining distinguishable in surface texture. On the west elevation, three columnar forms are built up in stucco to reference the brick pier form on 1st Ave at grade. Private residential balconies are staked within the centre bay, with juliette balconies proposed on the side units due to the restricted clearances from BC Hydro transformers. The green colour accent on 1st Avenue is subtly referenced on the modern cornices and the secondary entrance on the lane façade, cohesively tying the two frontages together.

We believe this project builds on the energy and significance of the original building and community, maintains a balance between the historic vernacular and modern architecture and provides new, highly liveable rental homes in the Ladysmith town centre while retaining an important element of the Ladysmith built heritage.

Please do not hesitate to contact us should you have any questions or comments.

Sincerely,
WA ARCHITECTS LTD.

A handwritten signature in black ink, appearing to read 'Neil Banich'.

Neil Banich
DESIGN DIRECTOR | PRINCIPAL



Joel Smith
ARCHITECT AIBC, SAA, AAA, AIA | PRINCIPAL