

AGENDA

Community Planning Advisory Committee

Wednesday, August 7, 2024 at 7:00 p.m. City Hall Council Chambers, 410 Esplanade

<u>Mandate</u>: The mandate of the committee is to provide feedback to applicants and advice to Council on land use applications, policies, regulations and initiatives referred either directly by Council or through the Development Approval Procedures Bylaw.

- CALL TO ORDER AND ACKNOWLEDGEMENT (7:00pm)
 The Town of Ladysmith acknowledges with gratitude that this meeting takes place on the unceded territory of the Stz'uminus First Nation.
- 1.1 INFORMATION ON HOW TO ATTEND THE MEETING

 Residents are welcome to attend in person at City Hall Chambers at 410 Esplanade.
- 2. AGENDA APPROVAL (7:05pm)
- 3. ADOPTION OF JULY 3, 2024 MINUTES* (7:05pm)
- 4. COUNCIL REFERRALS (7:05pm)
 - a. <u>Development Permit Application 3060-23-21 440 1st Avenue</u>* (30 minutes)
- 5. MONTHLY BRIEFING (7:35pm) File Updates (10 minutes)
- 6. NEXT MEETING TBD
- 7. ADJOURNMENT (7:45 pm)

^{*}Attachments



MINUTES Community Planning Advisory Committee

Wednesday, July 3, 2024 at 7:00 p.m. City Hall Council Chambers, 410 Espanade

PRESENT: Members - Jennifer Aker; John Scott; Julika Pape; Tonya Soules; Keona

Wiley; Anthony Price; Council Liaison - Marsh Stevens (via Conference Call);

Director of Development Services & Recorder - Jake Belobaba

ABSENT: Member - Jason Robertson

GUESTS: Applicant - Scott Mack (file no. 3360-23-10)

Director of Development Services Jake Belobaba called the meeting to order at 7:02pm.

Jake Belobaba acknowledged with gratitude that Ladysmith is located on the unceded territories of the Stz'uminus First Nation.

1. AGENDA APPROVAL

It was moved, seconded, and carried that the Agenda of July 3, 2024, Community Planning Advisory Committee meeting be approved.

2. ADOPTION OF MINUTES

It was moved, seconded, and carried that the Minutes of May 1, 2024, Community Planning Advisory Committee meeting be approved.

3. COUNCIL REFERRALS

a. Zoning Bylaw Amendment Application 3360-23-10 - Lot A District Lot 126

Malone Road

Applicant Scott Mack from Townsite Planning gave a brief presentation on proposal.

It was moved, seconded, and carried that the Community Planning Advisory Committee recommends that Council approve Zoning Bylaw Amendment application 3360-23-10 for Lot A District Lot 126 Malone Road with consideration for the following:

- A cap on the number of single-unit and two-unit dwellings in Area C.
- Either frontloading the proposed affordable housing to earlier phases of the development or rental tenure zoning in Area C.
- Higher parcel coverage in Area C.
- Permitting fourplexes in Areas A and B.

- Fencing along the park boundary for Brown Drive Park installed prior to development.
- A minimum FSR in Area C aligned with OCP policy.
- Broadening the potential uses of the proposed \$50,000 cash contribution to allow it to be spent on other park improvements.

4. **NEW BUSINESS**

a. Election of Chair

Keona Wiley was elected as Chair.

- 5. MONTHLY BRIEFING
 - 3360-22-07 District Proposal (Lot A Holland Creek).
 - Jake Belobaba provided a brief update on the Provincial Small Scale Multi-Unit Housing legislation.
- 6. NEXT MEETING TBD
- 7. ADJOURNMENT

It was moved, seconded, and carried that the meeting be adjourned at 8:42 PM.

	Y.	
		Chair (Keona Wiley)
RECEIVED:		
Corporate Officer (S. I	Bouma)	

CPAC REFERRAL

Report Prepared By: Julia Tippett, Planner

Meeting Date: August 7, 2024 File No: DP 3060-23-21

Re: Development Permit – 440 1st Avenue (Island Hotel)

Executive Summary

A development permit application has been received for 440 1st Avenue for the restoration, rehabilitation and preservation of the existing heritage brick façade and the redevelopment of a mixed-use building with commercial space on the ground level and 22 residential units on the above storeys. The proposal includes a 2-storey addition to the existing 3-storey historic Island Hotel façade for a total of 5 storeys. As the property is within Development Permit Area 2 – Downtown (DPA 2) and the building is on the Community Heritage Register, the Community Planning Advisory Committee (CPAC) is asked to provide feedback regarding the application in accordance with the CPAC Terms of Reference.

Introduction/Background

440 1st Avenue is a three-storey historic building on the southwest side of 1st Avenue. The building was originally constructed in 1900 with a grade-level entrance but was modified in 1913, which had the building raised and a third storey added to the original two-storey structure. There is commercial space on the lower storey with 13 residential units on the upper floors. The building is listed on the Town's Community Heritage Register.

The property was rezoned in 2023 to allow site-specific regulations within the C-2 (Downtown Commercial) zone for greater floor space ratio than was permitted at the time and established a maximum of 22 dwelling units. Other amendments included regulations for minimum front parcel line setbacks of 2.7 metres for the 4th storey and 5.4 metres for the 5th storey, the requirement for 4 off-street parking spaces, and a reduction of the rear parcel line setback to 0.0 metres.









The current proposal is for the restoration and preservation of the heritage façade and the redevelopment of the building.

The proposed redevelopment for DP 23-21 includes the following elements:

- The restoration, rehabilitation and preservation of the building's heritage brick façade, cornice and parapets;
- Lowering the building and heritage facade to ground-level:
- Reconstruction of the building, including a two-storey addition (five storeys total)
 - Fourth storey setback of 2.4 metres from the front parcel line and the fifth storey setback of 4.6 metres from the front parcel line (requires a variance);
- Approximately 138m² of commercial space on the first storey;
- 22 dwelling units (one-bedroom and bachelor suite apartments):
- Cantilevered balconies in the mid-section of the rear face of the building and Julietstyle balconies at the rear outer apartments;
- Deck space for front units on fourth and fifth storeys within upper storey stepbacks;
- Rooftop outdoor amenity/patio space accessible by a stairwell and an elevator to the rooftop;
- 3 rooftop planters;
- 22 on-site long-term bicycle parking spaces (indoors) and 7 off-site short-term bicycle parking spaces (on public property);
- Four off-street parking spaces accessed at the rear lane;
- One shade tree at the rear of the property;
- Indoor garbage and recycling storage facilities;
- Beige and off-white stucco cladding and green parapet and cornices; and
- On-site stormwater system Silva and Marino cell.

The architectural drawings and supporting information from the applicant are attached.

Community Heritage Register

According to the Community Heritage Register, the Island Hotel's character-defining elements include:

- The building's continuous commercial use;
- All elements of a modest Edwardian commercial building, including the simple form and massing, symmetrical façade, brick facing, flat roof, simple one-over-one wood-framed windows, cornice and arrangements of doors and windows at the street level; and
- The building's location within a group of similarly proportioned, historic commercial buildings on the Town's main commercial street.



<u>Development Permit Area 2 - Downtown</u>

440 1st Avenue is within Development Permit Area 2 – Downtown (DPA 2), therefore a Development Permit (DP) must be issued for the proposed development.

The objective of DPA 2 is to strengthen the historic downtown as the Town's primary commercial area. DPA 2 intends to provide guidance for the form and character of development in the downtown. New development should make a positive contribution to revitalization of the area and to the greater whole of the Ladysmith experience. The guidelines encourage restoring historic, character-defining building elements.

The following table outlines DPA 2 guidelines are relevant to this proposal:

Development Permit Area 2 - Downtown (DPA 2) Guidelines			
Guideline Category	Relevant Guideline Number(s)		
Building Design	1(a), 1(c), and 1(d)		
Building Siting & Massing	2(a) to 2(e), 2(g), 2(j), and 2(k)		
Building Frontage	3(a), 3(b), and 3(e)		
Roof Form	4(a), 4(b) and 4(d)		
Windows & Doors	5(a) to 5(f) and 5(h) to 5(o)		
Signs, Canopies & Lighting	6(a) to 6(g)		
Materials & Colours	8(a) to 8(d)		
Mechanical, Electrical & Security Equipment	9(a) and 9(b)		
Accessibility & Connectivity	10(a) and 10(d)		
Vehicle & Bicycle Parking	11(a) to 11(c) and 11(e) to 11(g)		
Loading Facilities	12(b)		
Landscape	13(a) to 13(i) and 13(k) to 13(o)		
Energy Conservation & Greenhouse Gas	14(a) to 14(c)		
Emissions Reductions			
Rainwater Management	15(a) and 15(b)		
Water Conservation	16(a) and 16(b)		
Recycling, Organics & Solid Waste	17(a)		
Management			
Safety	18(a) to 18(d)		
Public Realm	19(a) and 19(b)		
Preservation, Rehabilitation & Restoration of	20(a) to 20(e)		
Heritage Buildings			

CPAC Referral

In accordance with CPAC's Terms of Reference, the committee is asked to provide feedback on any development or redevelopment of lands, buildings and structures that are on the Community Heritage Register. Since 440 1st Avenue is on the Community Heritage Register, the application has been referred to CPAC for comment.

Further, CPAC is asked to review the proposed redevelopment of the Island Hotel in the context of the DPA 2 guidelines and the description of the building on the Community Heritage Register.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:

The application has been forwarded to the Engineering, Building and Fire Departments as part of the application process.

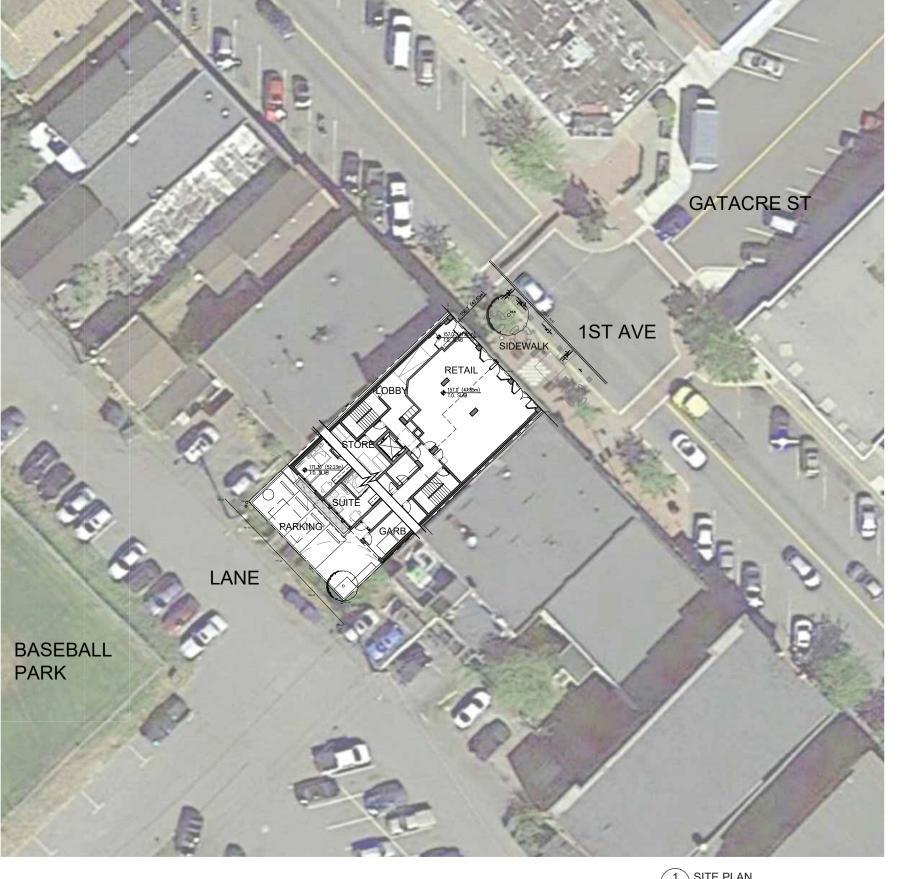
ATTACHMENT:

- A. Architectural drawings
- B. Community heritage register
- C. Landscaping plan
- D. Additional applicant submission letter of rationale

Attachment A

PROJECT STATS
ISLAND HOTEL REDEVELOPMENT
Project No. 23047

REVISION NO.					
SITEINFORMATION					
LEGAL DESCRIPTION	LOT 6, BLOCK 27, DISTRI	CT LOT 56, OYSTER	DISTRICT, PLAN	703	
CIVIC ADDRESS	440 FIRST AVE, LADYSMITH, B.C., V6A 0J7				
ZONNG	DPA 2 and DPA 4				
SITE AREA (ft²)	5,004.02 SF	464.9 sqm			
SITEDATA				PROPOSE	
FLOOR SPACE RATIO (FSR)		AREA TO	TAL / SITE AREA	2.6	
SITECOVERAGE				1009	
BUILDING HEIGHT*		тото	POF PARAPET:	17.0	
SETRACKS			FRONT	01	
			REAR	6	
		S	OUTHEAST SIDE	Q	
			RTHWEST SIDE	Or	
	**	FRONT LEVEL 4		2.35	
		FRONT LEVEL 5		4.571	
BUILDING DATA		I MOINT LEVEL 3	(IO CLADDING)	4.371	
UNIT MIX				# CF UNIT	
STUDIO	95			# CF ONT	
1 BEb				1	
2 BEb					
	700				
TOTAL UNITS				2	
			7		
AREA SUMMARY PER MUNICIPA		COMMERCIAL	100	RESIDENTIAL	
LEVEL 1	1,481.53 SF	137.6 sqm			
LEVEL 2	6	- 157	2,776.26 SF	257.9 sqr	
LEVEL 3	- KI		3,306.81 SF	307.2 sqr	
LEVEL 4			2,953.59 SF	274.4 sq	
LEVEL 5			2,585.22 SF	240.2 sq	
LEVEL 6 (AMENITY STORAGE)			36.83 SF	3.4 sq	
SUBTOTAL	1,481.53 SF	137.6 sqm	11,658.71 SF	1,083.1 sq	
TOTAL AREA PER MUNICIPAL F	SR		13,140.24 SF	1,220.8 sqr	
BUILDABLE AREA SUMMARY (N		COMMERCIAL		RESIDENTIAL	
LEVEL 1	1,481.53 SF	137.6 sqm	2,287.97 SF	212.6 sqr	
LEVEL 2			3,824.84 SF	355.3 sqr	
LEVEL 3			3,900.41 SF	362.4 sqr	
LEVEL 4			3,547.19 SF	329.5 sq	
LEVEL 5			3,178.82 SF	295.3 sq	
LEVEL 6			769.13 SF	71.5 sq	
SUBTOTAL	1,481.53 SF	137.6 sqm	17,508.36 SF	1,626.6 sqr	
TOTAL BUILDABLE AREA (NO E	XCLUSIONS)		18,989.89 SF	1,764.2 sq	
- 20	(A)	- 10	100	25 95	
PARKING DATA					
PROCESSED DARWING	DECORPTION		10		
PROPOSED PARKING	DESCRIPTION	- 70	- 22	QUANTIT	
	STANDARD STALL				
	SMALL STALL				
TOTAL PROPOSED PARKING				8	
REQUIRED BICYCLE PARKING	CLASS A	22	CLASS B		
	CLASS A	22	CLASS B		



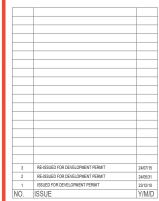




OWNER/CLIENT:

FIRST AVENUE FREEHOLDERS INC.

GENERAL NOTES:



CONSULTANT:



VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6 VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5 604.685.3529 | office@wa-arch.ca | wa-arch.ca

ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS: 440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:

DWG NO:

SITE PLAN & PROJECT DATA

PROJECT NO: 23047

SCALE: NTS

/: JMS A100





1 VIEW FROM 1ST AVE LOOKING SOUTHEAST









4 VIEW FROM LANE

Note: Rendering 4 shows previously proposed parking and landscaping arrangement. See Landscape Plan for the most recent proposed parking and landscaping configuration.

NORTH ARROW:

OWNER/CLIENT:

FIRST AVENUE FREEHOLDERS INC.

GENERAL NOTES:



CONSULTANT:



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ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS:

440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:

RENDERINGS

PROJECT NO: 23047 SCALE: NTS

REVIEW BY:

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PROJECT NAME:

ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS: 440 1ST AVE, LADYSMITH, BC

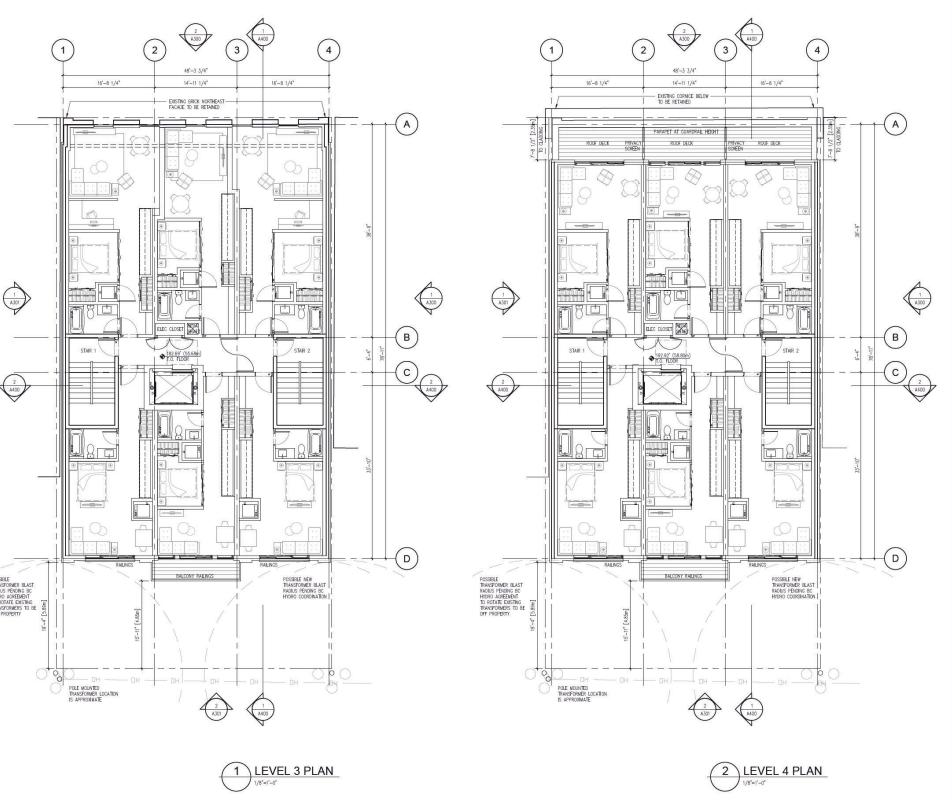
DRAWING TITLE:

DWG NO:

FLOOR PLANS L1-L2

PROJECT NO: 23047 DRAWN BY: SCALE: 1/8"=1'-0"

REVIEW BY:



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PROJECT NAME:

ISLAND HOTEL REDEVELOPMENT

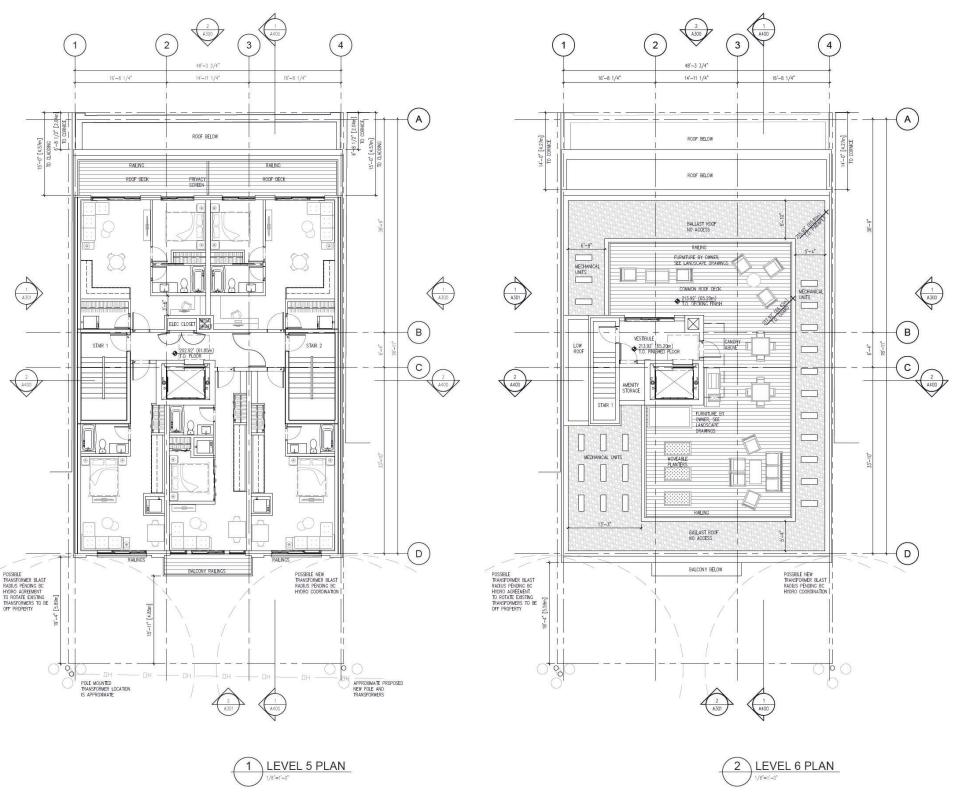
PROJECT ADDRESS:

440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:
FLOOR PLANS L3-L4

PROJECT NO: 23047 DRAWN BY:

SCALE: 1/8"=1"-0" REVIEW BY: J



NORTH ARROW:



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PROJECT NAME:

ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS: 440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:

FLOOR PLANS L5-L6

PROJECT NO: 23047 DRAWN BY: SCALE: 1/8"=1'-0" REVIEW BY: A202

BUILDING HEIGHT EXEMPTION

The zoning bylaw under 5.13 Height Exemptions notes:
a) Except as otherwise provided in each particular Zone, no Buildings and
Structures may exceed the Height requirements of this Bylaw, except:
i) Church spires, belfries, domes, monuments, fire and hose towers,
observation towers, stadium bleachers, radio tower, television tower,
satellite signal receiving apparatus, chimneys, flag poles, mast aerials,
cooling towers, elevator and ventilating machinery, screening for
mechanical equipment, stair towers, monuments, lighting poles, clothes
line poles and Solar Energy Devices;
b) The Height exceptions indicated in Section 5.13(a)(i) shall be limited to a
Height of one and a half times the permitted Height for Principal Buildings in
the applicable Zone and provided that such Buildings or Structures do not
cover more than 20 percent of the Parcel Area or more than 10 percent of the
roof area if located on a Building or Structure, except in the case of Solar
Energy Devices which shall have no roof coverage limit.

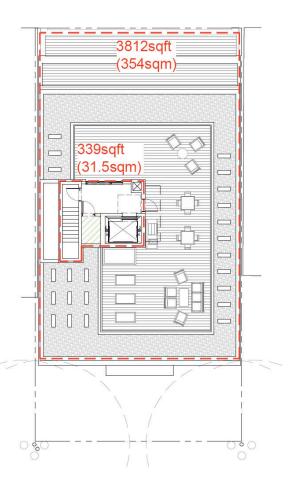
The building roof area equals 3,812sqft (354sqm) 10% of 3,812sqft = 381sqft (35.4sqm)

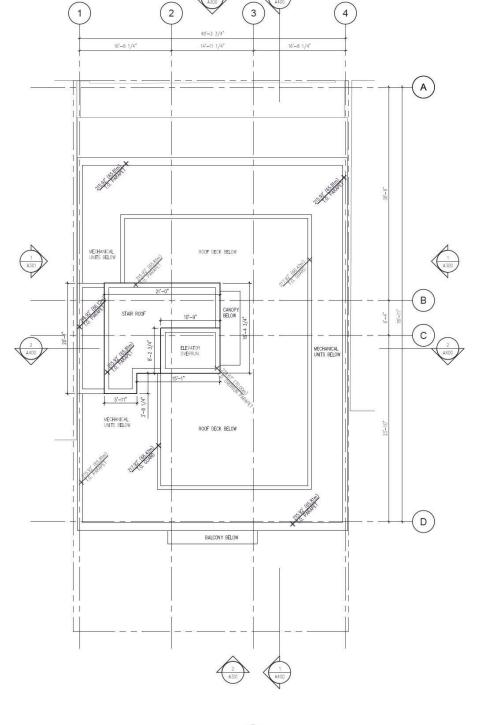
The parcel area equals 5,004sqft (464.9sqm) 20% of 5,004sqft = 1,000.8sqft (93.0sqm)

The proposed elevator and stair extension above the max building height measured to the exterior sheathing is 339sqft (31.5sqm).

The proposed elevator overrun height is 20.63m from average grade.

The elevator and stair extension is not more than 10% of the roof area, not more than 20% of the parcel area and not more than 1.5 times the permitted height of 18m.







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GENERAL NOTES:



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PROJECT NAME:

ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS: 440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:

ROOF PLAN

DWG NO:

PROJECT NO: 23047 DRAWN BY: SCALE: 1/8"=1'-0"

REVIEW BY:

AVERAGE FINISHED GRADING CALCULATION

ELEVATIONS AT EACH CORNER BASED ON SURVEY POINTS: SW 166.99' SE 167.97' NE 156.82' NW 156.16'

166.99 + 167.97 + 156.82 + 156.16' = 647.94' / 4 = 161.985'

162.0' OR 49.38m IS THE AVERAGE FINISHED GRADE

5.13 OF BYLAW FOR BUILDING HEIGHT EXCLUDES ELEVATOR MACHINERY AND STAIR TOWERS.

LOWER PARAPET IS PROPOSED 225.17' OR 68.63m

STAIR PARAPET IS PROPOSED 226.67' OR 69.09m

LOWER PARAPET BUILDING HEIGHT: 68.63m - 49.38m = 19.25m OR 63.16'

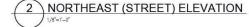
STAIR PARAPET BUILDING HEIGHT: 69.09m - 49.38m = 19.71m OR 64.67'

MATERIAL LEGEND

IVIA	ERIAL LEGEND	
1	EXISTING BRICK	
2	NEW BRICK	BEIGE
3	STUCCO RAINSCREEN CLADDING	OFF-WHITE
4	STUCCO RAINSCREEN CLADDING	BEIGE
(5)	CLEAR GLAZING WITH VINYL FRAME	CHARCOAL FRAME
6	CLEAR GLAZING WITH ALUMINUM FRAME	CHARCOAL FRAME
7	FABRIC AWNING	GREEN
8	EXISTING CORNICE	REPAINTED GREEN
9	NEW CORNICE / FRIEZE	GREEN
10	LOUVERS	CHARCOAL
11	PICKET GUARDRAIL	CHARCOAL
12	PAINTED SIGN AS HISTORIC REFERENCE	
13	CONCRETE PLANTER, ARCHITECTURAL FINISH	SEALED
14)	DOOR AND FRAMING	CHARCOAL
15)	WINDOW HEADER TRIM	GREY







NORTH ARROW

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PROJECT NAME:

ISLAND HOTEL REDEVELOPMENT

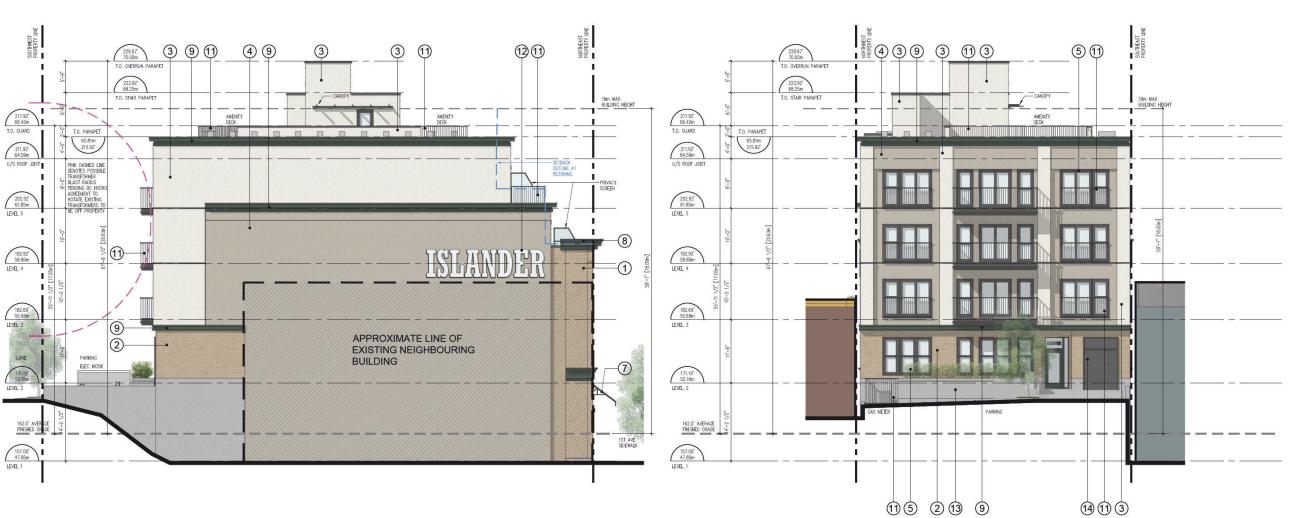
PROJECT ADDRESS: 440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:

BUILDING ELEVATIONS NW & NE

PROJECT NO: 23047 DRAWN BY: SCALE: 1/8"=1'-0" REVIEW BY: A300 DWG NO:

MATERIAL LEGEND EXISTING BRICK 2 NEW BRICK BEIGE 3 STUCCO RAINSCREEN CLADDING OFF-WHITE 4 STUCCO RAINSCREEN CLADDING BEIGE 5 CLEAR GLAZING WITH VINYL FRAME CHARCOAL FRAME 6 CLEAR GLAZING WITH ALUMINUM FRAME CHARCOAL FRAME 7 FABRIC AWNING GREEN REPAINTED GREEN 8 EXISTING CORNICE 9 NEW CORNICE / FRIEZE GREEN 10 LOUVERS CHARCOAL 11 PICKET GUARDRAIL CHARCOAL PAINTED SIGN AS HISTORIC REFERENCE (13) CONCRETE PLANTER, ARCHITECTURAL FINISH (14) DOOR AND FRAMING (15) WINDOW HEADER TRIM GREY



1 SOUTHEAST ELEVATION

2 SOUTHWEST (LANE) ELEVATION

Note: Southwest elevation shows previously proposed parking/ landscaping arrangement. See Landscape Plan for the most recent proposed parking and landscaping configuration.

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PROJECT NAME:

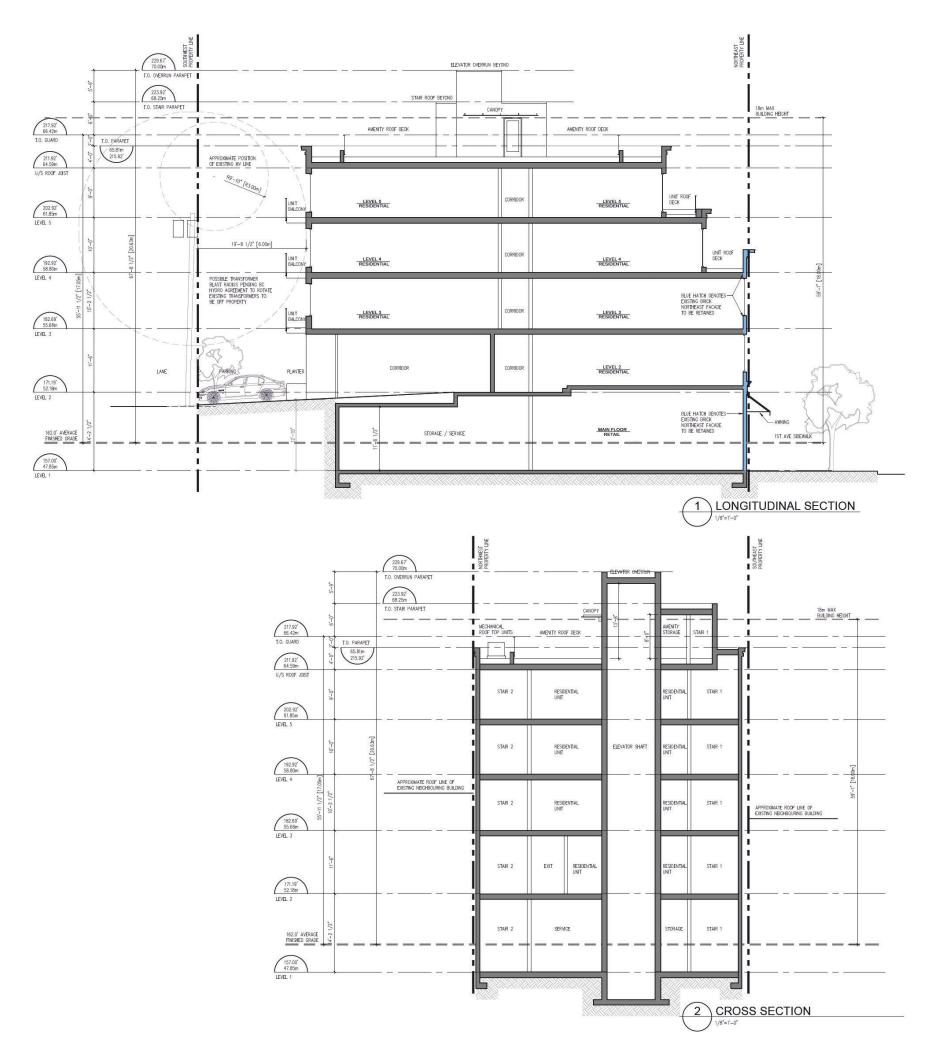
ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS: 440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:

BUILDING ELEVATIONS SE & SW

PROJECT NO: 23047 DRAWN BY: SCALE: 1/8"=1'-0" REVIEW BY: DWG NO:



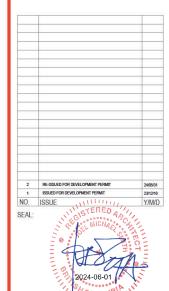
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FIRST AVENUE FREEHOLDERS INC.

GENERAL NOTES:



CONSULTANT:



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PROJECT NAME:

ISLAND HOTEL REDEVELOPMENT

PROJECT ADDRESS:

440 1ST AVE, LADYSMITH, BC

DRAWING TITLE:

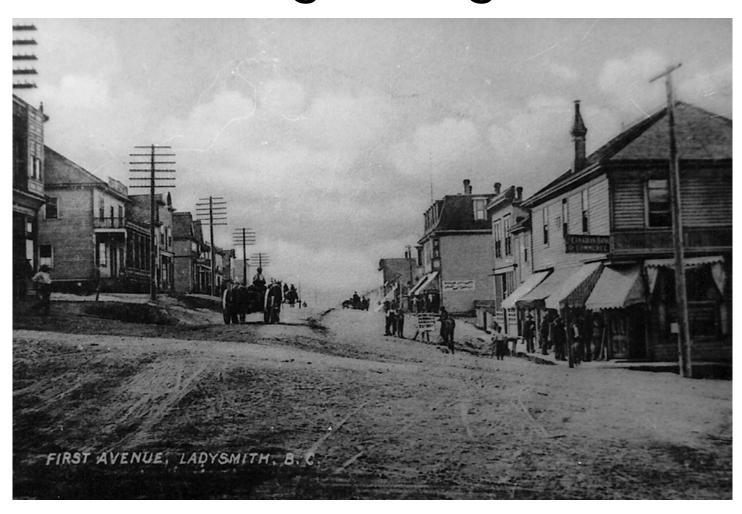
DWG NO:

BUILDING SECTIONS

PROJECT NO: 23047 DRAWN BY: SCALE: 1/8"=1'-0" REVIEW BY: A400

Town of Ladysmith

Community Heritage Register





Adopted: Updated:

May 1, 2006 March 1, 2010 February 3, 2014 November 20, 2017 December 20, 2018



ISLAND HOTEL 440 FIRST AVENUE

Other Name(s): Europe Hotel

Added to Register: 2006

Description of the Historic Place

The Island Hotel is a three-storey, brick-faced Edwardian commercial building located on the west side of Ladysmith's main commercial corridor. The historic place is confined to the building footprint.

Heritage Value

The Island Hotel is a very good example of an Edwardian commercial façade. Originally built in 1900 as the Europe Hotel, the building underwent substantial renovations in 1913. The hotel was raised, a floor was added and a brick façade was applied. These changes were the result of new

laws that required hotels to have certain numbers of rooms in order to hold liquor licenses. The restrained, symmetrical style reflects a shift from the more eclectic and elaborate styles of the Victorian era that preceded it. Although some later alterations were made to the building to accommodate changing street grades, the Island Hotel is substantially intact.

The Island Hotel is a tangible reminder of the social and economic importance of hotels in Ladysmith's history. Like most mining communities, early Ladysmith had a large population of single, often transient, men. As affordable housing alternatives, hotels functioned as living quarters and, in the saloons and restaurants located on the ground floor, as social centres. The hotel contributes significantly to the understanding of working-class male history.

The Island Hotel is part of a grouping of largely intact historic buildings in Ladysmith's commercial core. Situated mid-block, the building is part of an almost continuous city block of similarly scaled, historic buildings that collectively create a cohesive streetscape.

Associated with Ladysmith's earliest commercial development, the Island Hotel has operated continuously in Ladysmith since 1900 and is a significant contributor to the heritage character of the area.

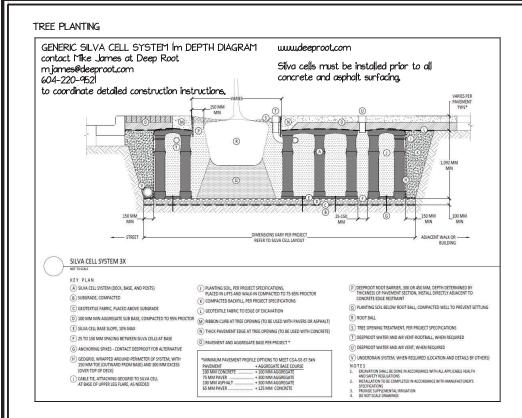
Character-Defining Elements

The character-defining elements of the Island Hotel include:

- the building's continuous commercial use
- all the elements of a modest Edwardian commercial building including the simple form and massing, symmetrical façade, brick facing, flat roof, simple one-over-one wood-framed windows, cornice and arrangements of doors and windows at the street level
- the building's location within a group of similarly proportioned, historic commercial buildings on the town's main commercial street.

Attachment C





SCOPE OF WORK

Nork includes supply of all related items and performing all aperations necessary to complete the work in occordance with the landscape drawings and specifications and generally consists of the following:

GROUNDLEVEL

Supply and placement of growing medium
Testing growing medium and supply of additives
(fertilizers) to meet requirements of soil test, and
BC Landscope Standards,
Preparation of planting beds, supply of plant materials and planting. Supply and placement of fine composted mylch on plant beds, Establishment Martenance for one year Other wark required to complete landscape, Leove elite completely clean and tidy,

Supply and installation of Silva cells, Marino cells and deeproot barriers, by general contractor.

GROUND LEVEL PLANTS

Acer rubrum 'October Glory'

Gty Botanical Nam

LEVEL 2 PLAN

AMENITY DECK

OCTOBER GLORY(R) RED MAPLE

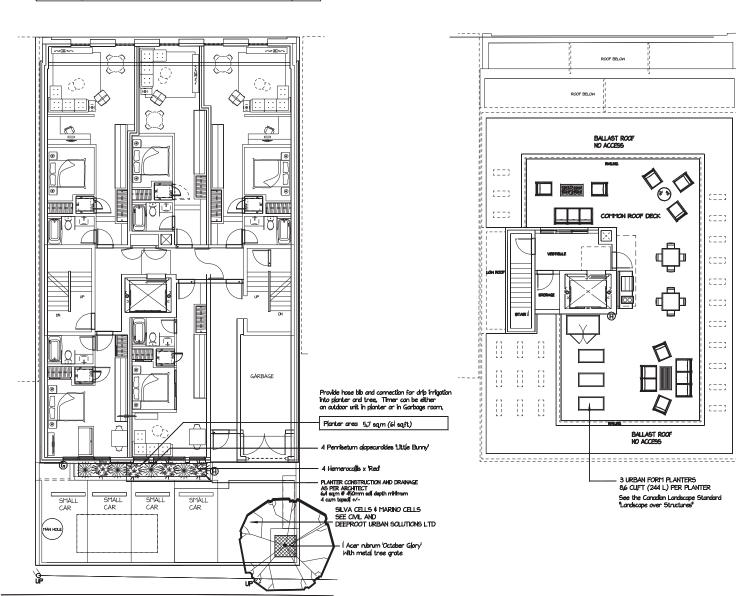
Pennisetum alapearaldes Little Bunny LITTLE BUNNY DWARF FOUNTAIN GRASS # | pot.

Supply and Installation of Wishbone Planters Supply and placement of growing medium Testing growing medium and supply of additives (fertilizers) to meet requirements of soil test, and BC Landscape Standards

Other work required to complete landscape Leave site completely clean and tidy. All furniture, BBQ, Shed and Fire Feature to be determined and supplied by Ouners,

PLANTING DETAIL & SHRUBS SOIL AMENDMENT: PLANTING DEPTHs Keep top of rootball 75-400 mm doove firshed grade of topsall, Organic matter (steen/mushroom manur-bone med, and a thine release Ferilities such as Natirotal) to be relead with adl and placed around the root ball to a width 3 times that of the rootball Countity of Ferilitiers shall be in accordance with the manufacturers MULCHNG
Mulch uith ehredded bark
or fish compost to a madmum
depth of 75mm, over an area of
the rootball, Keep mulch Bomm Prune at planting to carefully remov dead, broken, damaged and interfering branches, -Fine Mulch "Mixed soll and amendment Scaffed Subgrade





Depth of Silva Cells = 1 meter Soil valume approximately 30 cubic meters

LEVEL 5 PLAN

Refer to landscape specifications supplied with this plan at building permit level.

If you did not receive the specifications, please contact the designer. TOP SOIL REQUIREMENTS: Minimum depth for Trees (Om (40°) Trees as per detalls, Minimum depth for shrub bades 450mm (18") Minimum depth for mulche 75mm (31) PROJECT» ISLAND HOTEL REDEVELOPMENT LADYSMITH, B_LC. CLIENT# FIRST AVENUE FREEHOLDERS INC. ARCHITECT WA ARCHITECTS LANDSCAPE DESIGNER: landscape industry certified MYSTIC WOODS LANDSCAPE DESIGN ohone: 250-286-1327 lesign@mysticuoods.co DRAMN BY: Confine Matheson CLD, GP Certified Landscope Designe Qualified Plantsman Member of the BOLNA / CLNA SCALE: 1:100 0 1 2 3 4 5 DATE: October 20, 2023 Issued: October 24, 2023 For review Inquest October 30, 2023 For review lesued: November (, 2023 For Development Permi Issued: May 13, 2024 For review leeued: May 13, 2024 For review Issued: Mov 30, 2024 For Development Permit leaved: July 10, 2024 For Development Permit

DRAMING

LANDSCAPE PLANTING PLAN

L2 of 3

BC LANDSCAPE STANDARDS

Contractor to consult with designer

Contractor to consult with designer if plant substitutions are required due to availability.

Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmonship, from acceptance of landscape.

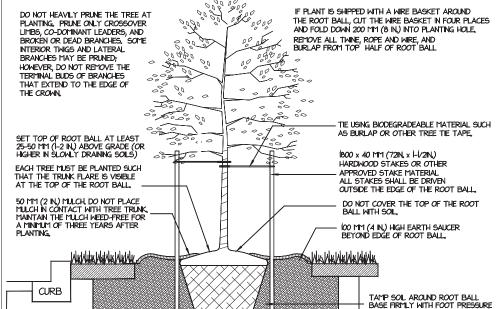
regarding any discrepancies,

All construction to meet the requirements as set out in the BC Landscape Standards, current edition, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape

and Nursery Association jointly. Capies of the BC Landscape Standards are available

through the BCLNA office at 1-604-574-7772

DECIDUOUS TREE PLANTING DETAIL



TREE PIT TO BE DETERMINED BY SILVACELL DESIGN NEEDED TO PERFORM STORM WATER MANAGEMENT AS PER CIVIL

FILL DEPTH OF EXCAVATED AREAS WITH TREE SOIL AND COMPACT UP TO THE DEPTH OF THE BOTTOM OF ROOT BALL, BACK FILL SIDES OF ROOT BALL WITH SOIL MIXTURE AS PER CHART FOR TREE SOIL,

PLACE ROOT BALL ON COMPACTED NEW SOIL,

SOIL VOLUME FOR TREE SHALL BE A MINIMUM 40 CUBIC METERS FILLING IN ALL SILVA CELLS.

LANDSCAPE SPECIFICATIONS

It is recommended that the Landscape contractor acquire a capy of the BC Landscape Standard and become familiar with its contents. Caples are available from the BCLNA office, at 604574,7772

All construction to meet the requirements os set out in the B.C., LANDSCAPE STANDARD, current edition, prepared by the B.C., Society of Landscape Architects and the B.C., Landscape and Nursery Association, jointly, All work and materials shall meet or exceed standards as set out in the

- I. The Contractor is to consult with designer regarding any
- discrepancies,

 2. The Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging,
- The Contractor is responsible for providing one year maintenance and one year warranty on all materials and workmanship, from acceptance of landscape,
- 4. No changes may be made to the plan without written approval of the Designer.

Acceptance

I. The work will be reviewed by the Owner's representative, either the Landscape Designer or the Landscape Architect, to determine compliance with the contract for the work, to set Substantial Performance (Builder's Lien Act), and to accept the work on the Owner's behalf.

- I. The Contractor should avarantee all materials and workmanship for a period of one full year from the date of Substantial Performance, (Acceptance), 2. Inspections must be called for in order to achieve
- This guarantee includes replacing all plants that are determined by the inspector to be dead or folling at the end of the guarantee period, Plant replacements shall be made at the next appropriate season,
- 4. The augrantee should not apply to plants or other The contractor is considered responsible for the work from Acceptance to one full year after acceptance, therefore, it is in the contractor's best interest to perform the one-year maintenance contract themselves, or hire it out to a reputable maintenance
- 5. The guarantee cannot be considered valid unless it can be proven that the requirements of The B.C., Landscape Standard, Establishment Maintenance have been carried out to a degree acceptable to the Inspector, It is therefore in the Quiner's Interest to have the contractor follow the recommendations of The B.C.

Unless other provisions are agreed to, the Contractor shall provide, mointain and pay for insurance for the duration of the work, providing at least the following coverages for the following categories of risk, Comprehensive General Liability Insurance protecting the Owner, the Contractor, subcontractors, and their respective servants, agents or employees against damage arising from personal injury (including death) and against claims for property damage that may arise directly or indirectly aut of the aperations of the Contractor, his/her subcontractors, servants, agents or employees. The amount of coverage should be not less than \$5,000,000 inclusive for any one occurrence. This policy shall contain a standard cross liability cla pointy small contain a standard ross librally clause, and shall cover all librillity arising out of products, whether manufactured or supplied by the Contractor, contingent employer's librilly and librilly assumed by the Contractor under and applicable to the contract for the contractor under and applicable to the contract for the contractor under and applicable to the contract for the contractor under and applicable to the contract for the contractor under and applicable to the contract for the contractor under and applicable to the contract for the contractor under and applicable to the contract for the contractor under the contractor and the contractor and

2. Automobile Insurance on the Contractor's guned 2. Automobile insurance on the Contractor's ouned and non-ounced vehicles, protecting he Contractor and the Ouner against damages arising from bodly highry (including death) and against claims for property damage arising out of their use on the operations of the Contractor, his/her subcontractors, or agents, The amount of coverage should be not less than \$5,000.000 to better fire are used somework.

Reporting Damage

Neptru typ Durnoge Notification of danger or damage to property, site features or the environment shall be given at once, verbally, and where necessary in writing, to the Authority and to the appropriate public agencies or authorities responsible for the sofety and repair of such property as public utilities or for protection of the environment.

I. The Contractor shall comply with all applicable laws, bylaws, rules, regulation and lawful orders of any public authority having jurisdiction for the safety of persons or property or to protect them from damage.

injury or loss. 2. The Contractor shall erect and maintain, as required 2. The Contractor shall erect and mahlah, as required by existing anothins and properses of the unit of all reasonable sofeepands for sofety and protection, as required by the Horkers' Compensation Board, 3. The Contractor shall provide barricades, sofety guards, and/or warning devices for purposes of controlling the traffic and pedestrians whenever necessary for the protection of persons and property.

- I. The contractor shall ensure competent supervision for the duration of the work an-site, 2. The person designated responsible for supervision shall ensure that the required standards of work,
- This includes, but is not limited to, confirmation
- This includes, but is not limited to, confirmation of safety codes and utility layout, records of change, and on-site coordination, scheduling and management.
- 3. Personnel supervising all landscape work should have at least one of the following qualifications:
- a) Successful completion of horticultural apprenticeship. b) Horticultural diploma from a recognized program such as the Landscape Horticulture Program at
- c) Certification as a Landscape Technician under the CNTA/BCLNA Landscape Certification program.

The Contractor shall employ experienced personnel for the landscape work, and shall enforce good discipline and order on the site,

SCOPE OF WORK

L. All products and materials used in the work shall be subject to testing when the inspector determines be surject to testing unen the inspector betermines that testing is necessory to ensure that they meet this standard. This includes, but is not limited to, seed and seed mixes, fertilizers, mulches, growing medium

seed mixes, fertilizers, mulches, grouing mealum and its components.

2. The Inspector may, at his or her discretion, waive the requirement of testing for each particular project. This may apply it soldisactory test results have already been obtained from the same stock of material. The inspector must be notified and given a sample of the soil to be used, to determine if testing is necessary, prior to the commencement of any work

The inspector may reject any soil deemed unsuitable

Nater used for the work shall be free from any organic or chemical contaminants detrimental to healthy plant, growth, Planning, scheduling and execution of the work shall include measures to ensure a supply of water for landscape purposes in adequate amounts and at adequate pressures for satisfactory irrigation of all plants. Planning of the work shall include provisions of a satisfactory means of water distribution. Such means include, but are not limited to, automatic sprinkler systems, drip systems, hose bibs and connection points, and truck-mounted water tanks, chemical contaminants detrimental to healthy plant growth,

SITE PREPARATION

Site Examination
No landscape work shall be carried out in areas or over surfaces that one not properly prepared. The contractor shall examine the site before starting work to verify that all surfaces are properly prepared.

- l. All existing and new plants, site services, arrbs, poving, structures, firishes and all other feature shall be protected against damage during the work. Damage shall be reported and shall be completely repaired to the satisfaction of the Authority. Environmental damage shall be avoided by ensuring that construction operations are carefully planned and scheduled. Areas that are sensitive or present potential problems shall be noted and schedules and work methods shall be prepared.
- 3. Sall stripping operations shall be carried out in such a manner as to avoid release of silt or sediment into any stream or other water body. Retention ponds, siltation screens, dikes etc., shall be installed where necessary to prevent rapid site runoff into watercourse, as directed by the landscape consultant, professional consultant or environmental authority.
- 4. Stockpiled soil or subsoil shall not be placed in law areas where natural drainage or storm water could pond or erode these materials during inclement weather.
- aring incernent weathers.

 5. Temporary erosion control measures shall be provided to prevent excessive nunoff on to adjacent sites or watercourses, or where a sail or sitesoil erosion hazard exists.

 Temporary nessures may include mulching diking, ponding, terrooting or other means to reduce surface water flow and its effects.
- 6. Appropriate measures shall be taken to ensure that no spillage of fuels, took construction materials, or other took uostes occurs, and where use of such materials is necessary, to ensure that adequate containment facilities and clean-up equipment are utilized.
- 7. No toxic or waste materials shall be dumped into watercourses or any other water body either on or off the lide site. o, No toxic materials, fertilizer, or fuels shall be stored adjacent o watercourses in a location where spillage could result in seepage
- 9. All toxic wastes and other construction material shall be disposed of in a manner acceptable to the owner and in accordance with municipal.

GRADING AND DRAINAGE

- I. The preparation of the sub grade shall, by rough grading and filling, provide a base that will allow the placing of grawing medium to the specified depths,

 2. Frished subgrade surfaces should be free of visible tumps and hollows and provide for growing medium depths as laid out as the tradection where
- n the landscape plans, . The subgrade shall be prepared to a consistent 80-85%
- 4. Soft and unstable areas below subgrade that cannot be compacted to 80-85% Standard Proctor density should be excavated and filled with suitable fill material, except in locations where special environmental contitions have been identified, in such cases, appropriate alternate solutions shall be approved and cornied out.
- Solutions shall be opinived and carried out.

 5. Debris, roats, branches, stones, balding materials, contaminated subsol, visible weeds and anything else that may interfere with the proper growth and development of the planned firitished landscaping shall be removed.

 6. Areas shalling excessive compaction shall be scarffied to a minimum depth of 6' (150 mm) immediately before placing growing medium.

I. The growing medium shall be fine graded after placement to final elevations and required contours. Rough spots and low oreas shall be eliminated to ensure positive surface drainage, 2. The surface shall be firished smooth and uniform, and be firm against deep foot printing, with a fine loose surface texture.

l. Surface and subsurface drainage systems shall be provided, as appropriate, for the collection and disposal of starm drainage es appropriate, for the collection and asposal of starth armag and subsurface water. The drainage systems shall be designed and sized to meet established criteria and deal effectively with projected precipitation, infiltration and flaws,

projective prespection in white color industrials and seek of the color of the colo The landscape contractor should obtain a capy of the civil drawings for drainage and or landscape swales and consult and coordinate all landscape work with the engineer.

INSTALLATION of UNDERGROUND IRRIGATION SYSTEM

All Irrigation work shall meet or exceed the standards of the Irrigation Industry of British Columbia,

Supply and install the components required to provide a property operating irrigation system to cover the applicable landscape, using drip irrigation.

2. Obtain or prepare a scaled design of the proposed irrigation system which meets IABC Design Standards,

system union meets MADC. Design Standards, 3. Obtain properly informed agreement from the auner's representative as to the inclusion or not of desirable features in the design which exceed MABC Standards and/or one site specific.

Quality Assurance

l, All irrigation work shall be done by a suitably experienced and qualified irrigation contractor, having trained and competent personnel adequate for the scope of work.

- personnel adequate or the scope or work.

 2. The contractor should be a member in good standing of the irrigation industry. Association of B.C., or similar association, and have met the qualification standards currently applied to contractors by that organization.

 3. A untitien guarantee of the installed system shall be provided to the currer covering workmarship and moterials for a minimum of one year from date of final acceptance.

- l. Ensure that sequencing of this work is corried out in coordination with the work of other trades and that sleeves are installed when appropriate, 2. Obtain all permits and licenses applicable to the work to be done,
- 3. Obtain written approval from the awner's representative prior to using materials that are different from those shown in the design. 4. Alternate materials must match the original materials in
- performance, flow, pressure loss, and other important characteristics so as not to compromise the intent of the design. so as not to compromise the intent of the assign.

 5. All sleeving in soil shall be installed and backfilled with the same considerations for protection of the material as IF it were water pipe, 6. Sleeving being installed across roads or driveways for later use, shall have the necessory pipe installed at the same time with each end ebouring to at least 36° above grade,

Irrigation Inspection and Testina

I Upon completion and I lesting
L Upon completion of the irrigation system installation, all pressure
regulation, arcs, distances of throw, sprinkler locations and height,
controller zones, etc., must be adjusted so as to antimize the controller zones, etc., must be adjusted so as to aptimize the operation of the system and make it ready for inspection and testing. Inspection will be cornied out by the owner's representative to ensure that the work has been completed according to specifications, and meet the intent of the installation standards.

3. The test will require that the system be operated sequentially with the controller, in the presence of the auner's representative, I respective must be called for prior to bookfilling pipes. All drip Irrigation lines are to be inspected prior to covering with mulch. 5. Once the irrigation system is complete, all zones must be perated for the inspector to check for coverage, break

any other maintenant.
 Any deficiencies noted during the inspection and testing will be rectified promptly and signed off by the owner's representative.

L. A suitable scaled as-built drawing shall be provided.

2. All components of the irrigation system shall be shown as installed, with clear measurements from an identifiable reference point to the to the controller and its circuit breaker, master value, zone control valves, main under connection, blau out connection, pump and its electoral connection, and any other similar features.

3. Provide a manual containing operating and maintenance instructions for all components of the system.

4. Provide clear instruction for aperating the irrigation system in season,

showing the relative timing differences between zones of different precipitation rates, and a schedule of run times suggested for various weather conditions, Provide any special tools as provided by the manufacturer for day-to-day servicing of the irrigation equipment installed.

- l. Supply all grouing medium required for the performance of the Contract, Do not load, transport or spread grouing medium when it is so wet that its structure is likely to be damaged.
- 2, Amend all growing medium as required by soil test,
- 3. Minimum depths of growing medium placed and compacted: Shrubst 181/450mm)

Groundcoversi 12"(300mm) Hydroseeded lawn: 12"(300mm)

Trees & large shrub pits_depth to conform to the depth of root balls, width shall be at least twice the width of the root ball, minimum (300mm) toosail around entire root ball.

Grouing medium is any soil, soil substitute, or mixture whose chemical and physical properties fall within the ranges required by the B.C. Londscape Standard

SOIL COMPOSTITION FOR GROUND LEVEL PLANTING AREAS

D	Day 101-8-14 GC	T-1-1 C	M. J	
Percent of	Dry Weight of	Total Growing	riedium	
All Gravels Sands large Silts larger Clays sma Clay and S Organic co	well larger than arger than 2mir than ,05mm, s than ,002mm, s ler than ,002mr It comblined:— tent:— 4 45 - 65	n, smaller tha smaller than 2 maller than .0	n 40mm	
water is vi	Percolation shall ible 60 minutes .e to heavy rain	after at leasi		

Plants and Planting

I, Conform to planting layout as shown on Landscape Plans, Review layout and preparations of planting beds with Landscape Designer prior to commencement of

Partial operations.

2. Plant trees, shrubs, and groundcovers only during periods that are normal for such work as determined by local weather conditions, when seasonal conditions are likely to ensure successful adaptation of plants to their

new location,

3. All plant moterial shall conform to the requirements of the B.C., Landscape Standard, Plants shall be true to name and of height, coliper and container size as shoun on the landscape plan plant. list, unless prior approval has been made by the Landscape Designer for charmstances such as availability,

4. Grouing Medium Admittures Thoroughly mix fish

compost or commercial grade manure and fertilizers or other amendment into the growing medium as required by the sall test to meet the specification for prowing medium. 6. Excavation of Tree Pits, installation of Silva Cells and Root barrier See plant details on L2-3 6. Staking Trees Use two 21x21x61 stakes. Set stakes

minimum 2 in soil. Do not drive stake through root ball. Tie with fabric helt or banding attached to stake with shingle nail. Ties shall be secured to the stakes or placed in the tree such that they will not slide down or otherwise be displaced.

or otherwise be displaced,
7. Plant all trees and shrubs with the roots placed at
their natural growing position, Carefully remove
containers without in juring the root balls, All string,
rope, burlop and other restricting elements shall be
aut and removed out to the perimeter of the root ball.
Fill the planting holes by gently firming the growing
medium around the root system, add soil os required
to meet finished grade, Leave no air voids.

A seasoning the product of the product 3. Young plants susceptible to browsing must be protected for the first two years until plants become established, Protect using either Bobex, Plantskid, or other proven rem

Limit pruning to the minimum necessary to remove dead or injured branches, Preserve the natural character of the plants, do not cut the leader, Use only clean, sharp tools. Make all cuts clean and aut to the branch collar leaving no stubs, Remove damaged material

Midth all planting areas with an even layer of fine mulch, or Fish Compost to 3" (75 mm) depth. Bark mulch shall be finely crushed Fir or Hemiock or a combination of the two, firee of churks and sticks, dark brown in colour, and free of all sail, stones, saits or other harmful chemicals, roots or other extraneous matter. All mulch shall be kept a minimum of 2" (50mm) below all curbs, driveways and other hard surfaces to prevent spillage from irrigation,

Establishment Maintenance

I. The intent of establishment maintenance is to provide sufficient care to newly installed plant material provide sufficient, core to newly installed plant material for a period of one year from acceptance to ensure or increase the long-term success of the planting. The objective is the adaptation of plants to a new site in order to obtain the desired effect from the planting while reducing the rate of follower and unnecessary work associated with improper establishment. Establishment maintenance procedures apply to al vegetation, including:

a) New and existing trees, shrubs and groundcovers

2. Maintenance / Guarantee: Establishment Traintenance / Guarantee Isstablishment
mointenance procedures should be applied to all
areas of planting that have not completed two growing
seasons since instabliation. Maintenance during the one-year
garantee period is essential to ensure the
validity of any garantee. (Banding / Administration Guarantee). 3. Plant Material Establishment. Watering: During the first growing season, new

plants shall be watered at least every three days, b) Mulch: Mulches shall be maintained in the original areas to the original depths.

c) Weed Controli All areas shall have all weeds removed manually at least once per month during the grawing season,

All leaves and debris that is removed shall be composted 5. Fertilizing Except as otherwise recommended on the basis of sail test results, shrubs and trees shall be fertilized only as required to correct symptoms of nutrient deficiency by applying a uniform application of organic fertilizer at the manufacturer's recommended

INSPECTIONS TO BE CALLED FOR

FIRST INSPECTION to be colled for ofter subgrade preparation, and soil has been placed.
Silva cells and root barnier to be supervised and or inspected by a Deep root representative,

FINAL INSPECTION: to be called for, after substantial completion.

BC LANDSCAPE STANDARDS

All construction to meet the requirements as set aut in the BC Landscape Standards, current edition, prepared by the BC, Sodety of Landscape Architects and the BC, Landscape and Nursery Association jointly, Copies of the BC Landscape Standards are available through the BCLNA office at 1-604-574-7772 Contractor to consult with designer

regarding any discrepancies

Contractor to consult with designer if plant substitutions are required due

Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

PROJECTs

ISLAND HOTEL REDEVELOPMENT LADYSMITH, BJC,

CLIENTs

FIRST AVENUE FREEHOLDERS INC.

ARCHITECT

WA ARCHITECTS

LANDSCAPE DESIGNER MYSTIC WOODS LANDSCAPE DESIGN

phone: 250-286-1327

design@mysticuoods.ca DRAWN BY:

Corinne Matheson CLD, HT Certified Landscape Designer Horticultural Technician

landscape industry certified

DATE: October 20, 2023

ssued: October 24, 2023 For review ssued: November 1, 2023 For Development Permit Issued: May 30, 2024 For Development Permit Issued: July II, 2024 For Development Permit

DRAMING

LANDSCAPE SPECIFICATIONS

DRAWNING #

L3 of 3



WA Architects Ltd.

| PRINCIPALS

Neil Banich
DESIGN DIRECTOR

Joel Smith ARCHITECT AIBC, AAA, SAA, AIA

David Echaiz-McGrath ARCHITECT AIBC, AAA, SAA

Barry Weih PRINCIPAL (HONORARY) ARCHITECT AIBC, AAA, SAA LEED® AP

I STUDIOS

VAN

950 — 1500 W Georgia Street Vancouver, BC V6G 2Z6 604.685.3529

VIC

104 — 3212 Jacklin Road Victoria, BC V9B 0J5 250.391.4933

wa-arch.ca

Jul 30, 2024

Development Services Department 132C Roberts St. Ladysmith, BC V9G1A2

Attn: Julie Thompson

RE: Development Permit Application for 440 1st Ave - Design Rationale

Project Summary

The building at 440 1st Ave currently known as the Island Hotel or the Islander is an important and iconic historic landmark in downtown Ladysmith. Built in 1900 as a 2-storey traditional structure branded the "Europe Hotel", the building was raised, refaced and added to in 1913, creating the current Edwardian form.

The 1913 modifications were in response to economic and legal demands of the time that required a certain number of rooms in order to obtain liquor licensing: a necessity for financial viability. In response to similar economic pressures, this proposal is the further evolution of the building from derelict, underutilized rooming house, to a carefully crafted integration of the precious 3-storey historic masonry edifice with a new concrete and wood structure comprising 22-newly constructed modern rental homes and almost 1500 sf of grade level commercial space.

The architectural design, height and massing of the current proposal is driven strongly by the retained original building façade. This evolution of the "Islander" building proposes a 2-storey addition, set back at both floors from the retained historic cornice and parapet. This 5 storey form fits within the OCP height limitations for developments on 1st Ave. The fenestration includes large openings to provide natural light to the dwellings, while maintaining the punctuation and simplicity of the existing windows of the original Edwardian façade. Modest, restrained cladding on the addition seeks to differentiate while complementing the original materiality of the building.

From the lane (west) side of the property the new structure is expressed as a 4-storey building, architecturally divided between a 1-storey base on which a 3-storey form extrudes. The level at grade is wrapped in a buff-coloured brick, referencing the materiality of the heritage elevation and providing a grounding expression at this secondary entrance. The floors above include a subtle columnar expression matching the rhythm of 1st Ave brick columns but in a contrasting rain screen stucco material.

Above the 5th floor is a common rooftop deck over-looking 1st Ave and the park to the west, which provides spectacular views to the Ladysmith waterfront and town for all residents of the building. An elevator provides wheelchair accessibility to this amenity with a vestibule for weather protection, and exiting is limited to one stair. These spaces fall within the bylaw exclusions for building height and do not exceed 10% of the building roof area as described on drawing A203. The cladding and colour of this massing is kept light and simplified to minimize the visual impact above the roof line. The common rooftop amenity deck includes seating, barbecues and planting beds, improving livability and social engagement opportunities for the building's residents.

Four required parking stalls are provided on the west (lane) side of the building. In accordance with the heritage revitalization agreement, 22 class a bicycle parking stalls (1 stall / residential suite) are provided on level 1 in a secured indoor room. As the heritage façade does not allow for a setback from the 1st Ave, 7 class b bicycle parking stalls are proposed offsite via four racks on the public sidewalk in front of the



building. This location is intended to be most visible and practical for those frequenting the ground floor business and visiting the residences from the street.

Setbacks, Building Height, and Massing

The window locations and the floor heights of the original "Island Hotel" determines the interior suite demising and the building height. The original ceiling heights of the Island Hotel were higher than current norms for residential buildings. At 11'-6" and 10'-2" respectively, level 2 and level 3 total almost 3' higher than would typically be built today. In addition, the main floor of the original building was raised from the street by over 1m from 1st Ave, resulting in the upper floors being higher than usual. Another factor impacting the massing is the location of BC Hydro's pole mounted electrical transformers on the lane. These limit the allowance of unprotected openings or vents to 6m or ~20' away from the lane property line, leaving very little volume around the site that is feasible to develop.

Due to these site constraints, we are proposing a variance to reduce the level 4 northeast setback from 2.7m to 2.35m (measured to cladding), and the level 5 setback from 5.4m to 4.57m. This equals a reduction in setback of 0.35m and 0.83m on level 4 and 5 respectively. The proposed setbacks enable the creation of livable east-facing 1-bedroom suites with functional private roof decks, while maintaining a distinct physical separation from the retained heritage facade fronting levels 1, 2 and 3.

The proposal includes a flat roof, both to provide the residents with a common amenity space and to respect the architectural style of the existing character. The proposed building height to the rooftop guardrail, sits approximately 1m below the maximum building height per the zoning bylaw.

The height of the second floor is determined by the level that it must meet the retained heritage façade. Thus, the second floor is elevated above the rear lane grade, providing the suites with some privacy and a vantage over the parked vehicles. A raised planter is proposed to screen vehicles from the residential units. In accordance with town requirements an at-grade tree has been located adjacent to the new secondary entrance to provide shading for the parked cars. The level 2 building entrance provides residents with direct access to the elevator via a secured walkway and entry lobby treated with high quality finishes and lighting.

Form, Character, and Conservation

The architectural design, height and massing of the current proposal is driven strongly by the retained building façade. The current proposal creates distinct architectural elements brought together in the building composition. A grounded brick base anchors both the street (existing) and lane (proposed) elevations. Above these sit a rainscreen stucco form, in lighter off-white and beige colours to distinguish but still relate to the heritage facade.

The design approach for the redevelopment of 440 1st Ave has been guided by the "Standards and Guidelines for the Conservation of Historic Places in Canada". The historic façade of the Island Hotel building facing 1st Ave will be retained and restored with the guidance of a conservation consultant and careful site inspection. The new building will be physically and visually compatible with, subordinate to and distinguishable from the existing character, as advised by conservation guidelines.

While retaining the structure and height of the historic façade, the storefront and ground level will be lowered to better respond to the existing grade of 1st Avenue. New clear storefront glazing provides a visual connection between the commercial use and sidewalk, helping restore the historic activities of the street. The residential lobby is shifted to the north "bay" of the building, allowing flexibility in commercial



tenancy while maintaining the traditional configuration of commercial entrances in Ladysmith.

The existing window openings facing 1st Avenue will be reconstructed with new, thermally efficient double-glazed units in the "one over one" Edwardian proportions of the existing facade. The window frames are proposed with a "charcoal" finish, providing a single consistent colour for all new glazing across the project, ensuring that the new glazing remains distinguishable from the conserved façade. The existing mid-level and upper cornices are to be restored and will be painted with a deep green colour. New fabric awnings between the existing brick openings are proposed in the same tone, providing continuity of the current streetscape weather protection. Above the existing three storey massing of the historic "base", levels 4 and 5 are set back from the retained façade.

The window design focuses on maintaining symmetry and repetition in the façade, as displayed in the Edwardian elevation below. Expansive glazing prioritises the livability of these urban suites, maximising natural light into the interior. Two simplified cornices are proposed to cap each setback. Up and down lighting is proposed on the existing brick piers at grade, to uniformly and softly light the building at night.

The upper-level cladding material is proposed as a rainscreen stucco assembly, providing a simple and subdued expression for the addition, and ensuring that the massing remains secondary and subordinate to the lower heritage facade. Employing a rainscreen provides a well-protected and easy to maintain envelope for the building. In squaring off the silhouette of the building with a flat roof, the historic, urban nature of the existing building is respected and remains subordinate to its Edwardian style.

The side walls against the neighbouring property lines require fire rated non-combustible masonry construction, and will be finished in a stucco rainscreen assembly. The stucco is proposed in buff/beige and off-white colours, providing colour continuity with the brick heritage façade while remaining distinguishable in surface texture. On the west elevation, three columnar forms are built up in stucco to reference the brick pier form on 1st Ave at grade. Private residential balconies are staked within the centre bay, with juliette balconies proposed on the side units due to the restricted clearances from BC Hydro transformers. The green colour accent on 1st Avenue is subtly referenced on the modern cornices and the secondary entrance on the lane façade, cohesively tying the two frontages together.

We believe this project builds on the energy and significance of the original building and community, maintains a balance between the historic vernacular and modern architecture and provides new, highly liveable rental homes in the Ladysmith town centre while retaining an important element of the Ladysmith built heritage.

Please do not hesitate to contact us should you have any questions or comments.

Sincerely, WA ARCHITECTS LTD.

Neil Banich
DESIGN DIRECTOR | PRINCIPAL

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ARCHITECT AIBC, SAA, AAA, AIA | PRINCIPAL